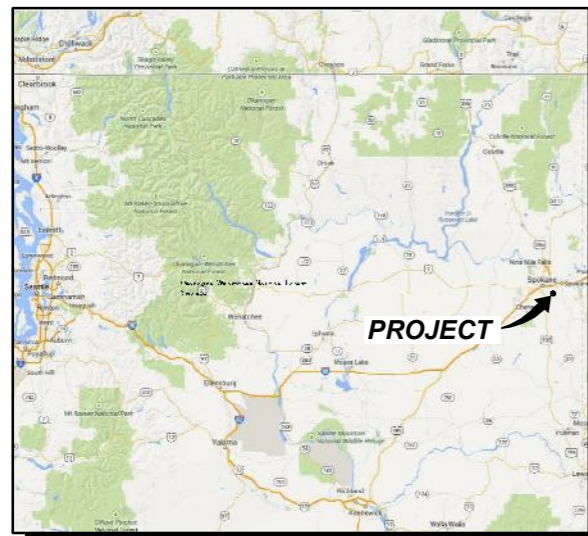




# SPO MORAN

4620 S GLENROSE ROAD  
SPOKANE, WA 99223



**VICINITY MAP**  
NOT TO SCALE



**GENERAL LOCATION MAP**  
NOT TO SCALE

### PROJECT CONTACT LIST

**APPLICANT:**  
VERIZON WIRELESS  
3245 158TH AVENUE SE, MS231  
BELLEVUE, WA 98008

**PROJECT ARCHITECT:**  
LDC, INC.  
14201 NE 200TH ST, SUITE 100  
WOODINVILLE, WA 98072  
CONTACT: RICHARD B. HALL, AIA  
PHONE: (425) 806-1869  
FAX: (425) 482-2893

**PROJECT SURVEYOR:**  
LDC, INC.  
14201 NE 200TH ST, SUITE 100  
WOODINVILLE, WA 98072  
CONTACT: VANCE BLUE, PLS  
PHONE: (425) 806-1869  
FAX: (425) 482-2893

**PROPERTY OWNER:**  
5005 E 46TH AVENUE  
SPOKANE, WA 99223  
CONTACT: RICH & JACI FINK  
PHONE: (509) 448-0343

**PROJECT CONSULTANT:**  
PROLAND, LLC  
2607 S SOUTHEAST BLVD, B-214  
SPOKANE, WA 99223  
CONTACT: MEG DEMAND  
PHONE: (509) 710-3606

**PROJECT MANAGER:**  
PROLAND, LLC  
2607 S SOUTHEAST BLVD, B-214  
SPOKANE, WA 99223  
CONTACT: MEG DEMAND  
PHONE: (509) 710-3606

### DRAWING INDEX

DWG NO.	DESCRIPTION
T-1	TITLE SHEET
C-1	CIVIL SURVEY
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	ELEVATIONS

### LEGAL DESCRIPTION

THAT PORTION OF THE NORTH HALF OF GOVERNMENT LOT 7 OF SECTION 2, TOWNSHIP 24 NORTH, RANGE 43 EAST OF THE WILLAMETTE MERIDIAN, LYING WESTERLY OF GLENROSE ROAD; EXCEPT THE NORTH 318 FEET THEREOF; SITUATE IN THE COUNTY OF SPOKANE, STATE OF WASHINGTON.

### DRIVING DIRECTIONS

FROM VERIZON WIRELESS OFFICE:

- GET ON I-90 E FROM SE EASTGATE WAY.
- FOLLOW I-90 E TO E 3RD AVE IN SPOKANE.
- TAKE EXIT 283B FROM I-90 E.
- CONTINUE ON E 3RD AVE.
- TAKE S CARNAHAN RD TO S GLENROSE RD
- MERGE ONTO E 3RD AVE
- TURN RIGHT ONTO S HAVANA ST
- TURN LEFT ONTO E 8TH AVE
- TURN RIGHT ONTO S CARNAHAN RD
- TURN LEFT ONTO S GLENROSE RD
- TAKE THE 2ND RIGHT TO STAY ON S GLENROSE RD
- DESTINATION WILL BE ON THE RIGHT

### PROJECT INFORMATION

**CODE INFORMATION:**  
ZONING CLASSIFICATION: URBAN RESERVE  
BUILDING CODE: IBC 2012  
CONSTRUCTION TYPE: IIB  
OCCUPANCY: U, S-2  
JURISDICTION: SPOKANE COUNTY  
PROPOSED BUILDING USE: UNMANNED TELECOM

**SITE LOCATION (NAD83):**  
LATITUDE: 47° 36' 39.50" N (47.610972° N)  
LONGITUDE: 117° 20' 02.01" W (117.333892° W)  
TOP OF STRUCTURE: 2440.23' AMSL 60'-0" AGL  
BASE OF STRUCTURE: 2380.23' AMSL 0'-0" AGL

**PROJECT LEASE AREA:** 2400 SF  
**PARCEL NUMBER:** 34021.9081

**NEW IMPERVIOUS AREA:** 2400 SF  
**AREA OF PARCEL:** 8.17 ACRES

**GENERAL INFORMATION:**  
1. PARKING REQUIREMENTS ARE UNCHANGED.  
2. TRAFFIC IS UNAFFECTED.  
3. SIGNAGE IS UNAFFECTED.

**PROJECT DESCRIPTION:**  
VERIZON WIRELESS PROPOSES TO CONSTRUCT AN UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF 60'-0" MONOPINE WITH (12) PANEL ANTENNAS, AND 7'-9"x22'-0" EQUIPMENT PAD WITHIN A 40'x60' FENCED LEASE AREA.

### UTILITY COMPANIES

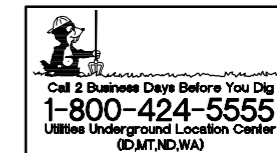
**POWER:** AVISTA UTILITIES  
PHONE: (800) 227-9187  
**TELEPHONE:** CENTURY LINK  
PHONE: (800) 777-9594

### SCALE DISCLAIMER

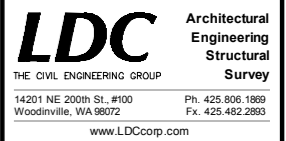
DO NOT SCALE DRAWINGS. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND ADVISE CONSULTANTS OF ANY ERRORS AND OMISSIONS. ALL PREVIOUS ISSUES OF THIS DRAWINGS ARE SUPERSEDED BY THE LATEST REVISION.

### PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS SERVICES IS STRICTLY PROHIBITED.

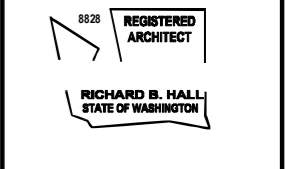


PROLAND, LLC



DATE:	3-11-14
DRAWN BY:	AT
CHECKED BY:	RBH

REVISIONS			
REV	DATE	DESCRIPTION	BY
1	3-11-14	PRELIMINARY ZONING	RBH
2	3-26-14	REVISED PRELIMINARY ZONING	RBH
3	4-8-14	REVISED PRELIMINARY ZONING	RBH
4	4-16-14	REVISED PRELIMINARY ZONING	RBH
5	6-30-14	REVISED PRELIMINARY ZONING	RBH



<b>SITE</b>
SPO MORAN 4620 S GLENROSE ROAD SPOKANE, WA 99223

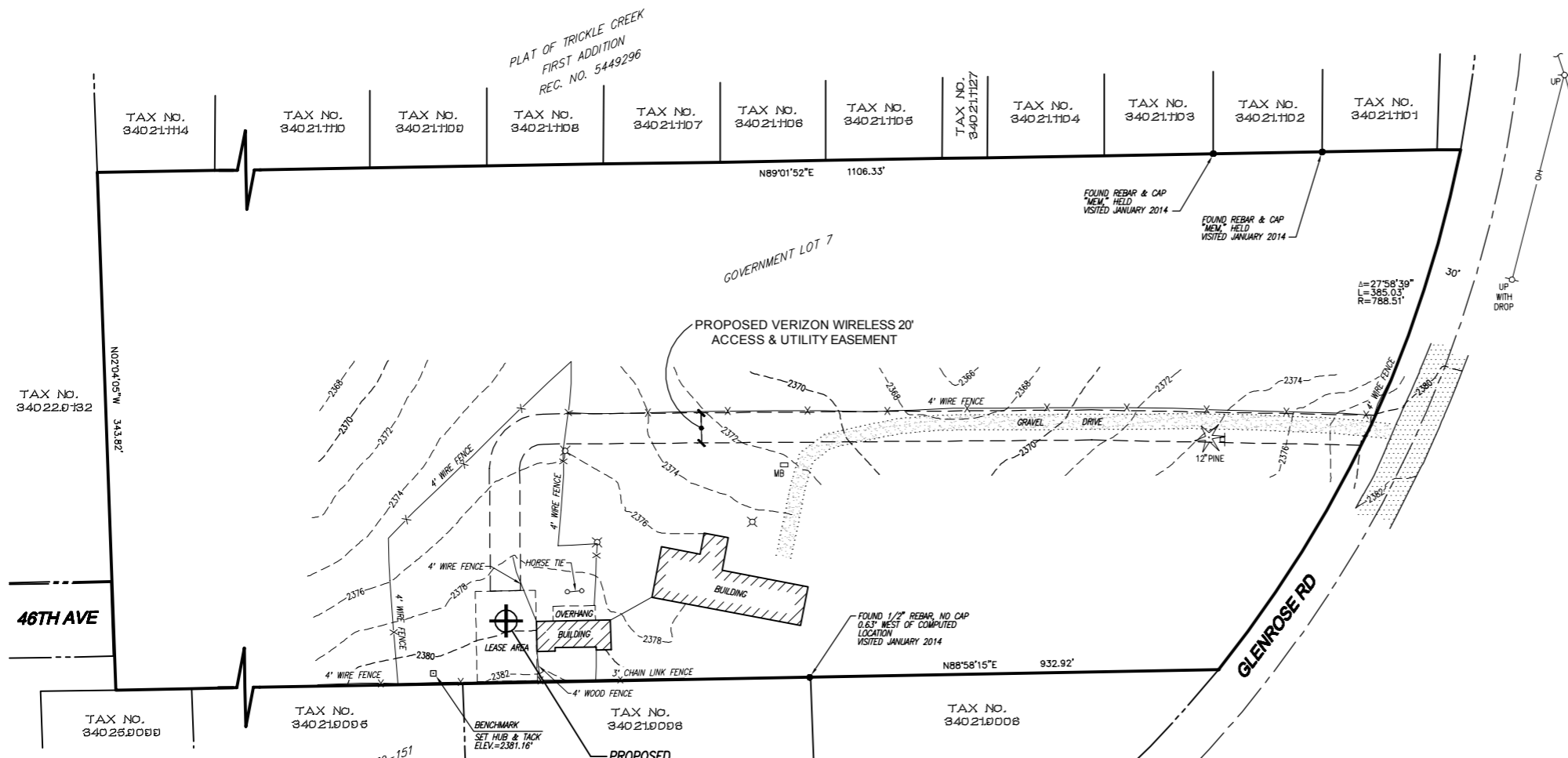
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TITLE SHEET

<b>SHEET NUMBER</b>
T-1

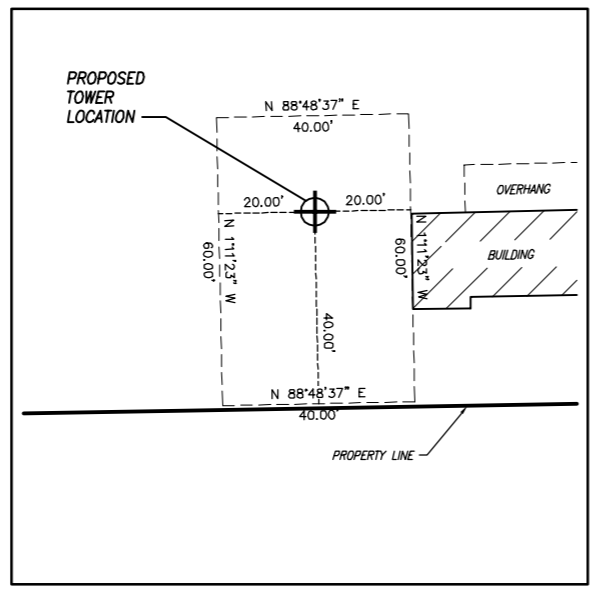
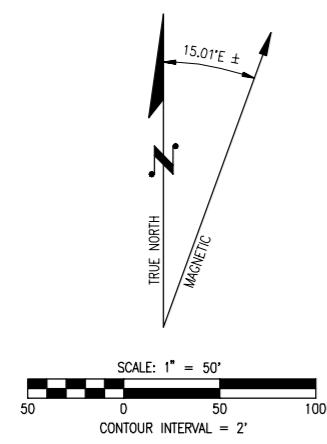
APPROVAL / SIGN OFF		
APPROVED BY	DATE	SIGNATURE
SITE ACQUISITION		
ZONING		
RF		
CONSTRUCTION MANAGER		
PROJECT MANAGER		
REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED		

# SPO MORAN

NW1/4, NE 1/4 SEC 2, T 24 N, R 43 E, W.M.,  
SPOKANE COUNTY, WASHINGTON



SHORT PLAT NO. SP 79-151  
REC. NO. 8010210065



**SERVIENT PARCEL DESCRIPTION**

THAT PORTION OF THE NORTH HALF OF GOVERNMENT LOT 7 OF SECTION 2, TOWNSHIP 24 NORTH, RANGE 43 EAST OF THE WILLAMETTE MERIDIAN, LYING WESTERLY OF GLENROSE ROAD; EXCEPT THE NORTH 318 FEET THEREOF; SITUATE IN THE COUNTY OF SPOKANE, STATE OF WASHINGTON.

**UTILITY EASEMENT DESCRIPTION**

WILL BE PROVIDED AFTER REVIEW.

**ACCESS EASEMENT DESCRIPTION**

WILL BE PROVIDED AFTER REVIEW.

**LEASE AREA DESCRIPTION**

WILL BE PROVIDED AFTER REVIEW.

**SURVEYOR'S NOTES**

- TITLE REPORT ISSUED BY OLD REPUBLIC NATIONAL TITLE INSURANCE CO. (GUARANTEE NO. RDGA 08000350).
- LATITUDE AND LONGITUDE TAKEN AT CENTER OF PROPOSED TOWER.
- MAGNETIC NORTH DECLINATION OF APPROXIMATELY 15.07° FOR THE DATE OF 1-29-14, COMPUTED BY USING THE MAGNETIC FIELD CALCULATOR ON THE NOAA NATIONAL GEOPHYSICAL DATA CENTER WEBSITE AND DOES NOT ACCOUNT FOR ANY LOCAL VARIATION OR ANOMALY.
- EASEMENTS REC. NO. 658626 FOR RIGHT OF WAY AND SLOPES AND REC. NO. 781103071 FOR ELECTRICAL INFRASTRUCTURE CAN NOT BE PLOTTED, BUT DO ENCOMBER THE PROPERTY.

**UTILITY NOTE**

THE LOCATION OF EXISTING UTILITY FACILITIES HAS NOT BEEN RESEARCHED. SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OF THEIR LOCATIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT THE "ONE-CALL SERVICE" AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION, REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR. THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR THE DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF BURIED OBJECTS WHICH ARE NOT SHOWN ON THE MAP.

**BOUNDARY DISCLAIMER**

THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF PARTIES WHOSE NAMES APPEAR HEREON ONLY, AND DOES NOT EXTEND TO ANY UNNAMED THIRD PARTIES WITHOUT EXPRESS RECERTIFICATION BY THE LAND SURVEYOR.

BOUNDARY LINES SHOWN AND CORNERS SET REPRESENT DEED LOCATIONS; OWNERSHIP LINES MAY VARY. NO GUARANTEE OF OWNERSHIP IS EXPRESSED OR IMPLIED.

**PROJECT INFORMATION**

SITE NAME:	SPO MORAN	GROUND ELEVATION:	2380.23' (PROPOSED CENTER OF TOWER)
SITE ADDRESS:	4620 S. GLENROSE ROAD SPOKANE, WASHINGTON 99223	BENCHMARK:	SET HUB AT PROPOSED TOWER LOCATION ELEV=2381.16'
OWNERS NAME:	RICH & JACI FINK 5005 E. 46TH AVENUE SPOKANE, WA 99223	VERTICAL DATUM:	NAVD 88 BASED ON GPS OBSERVATION
PARCEL NUMBER(S):	34021.9081	BASIS OF BEARINGS:	WASHINGTON STATE PLANE, SOUTH ZONE, NAD 83
PARCEL AREA:	8.17 AC	REFERENCE SURVEY:	PLAT OF TRICKLE CREEK FIRST ADDITION REC. NO. 5449296
PROJECT LEASE AREA:	2400 SF		
TOWER COORDINATES:	47°36'39.50" N (47.610972° N) 117°20'02.01" W (117.333893° W)		SHORT PLAT 79-151 REC. NO. 8010210065

**BASIS OF ELEVATION**

ELEVATION ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS, APPLYING GEOID 09 SEPARATIONS USING WSRN RTK NETWORK SOLUTION. ACCURACY MEETS OR EXCEEDS 1A STANDARDS AS DEFINED ON THE FAA ASAC INFORMATION SHEET 91-003.

**BASIS OF BEARING**

GEODETIC BEARING PER GPS OBSERVATION.

**SURVEY DATE**

JANUARY 29, 2014

**LEGEND**

- UP UTILITY POLE
- MB MAILBOX
- CONIFEROUS TREE
- LIGHT POLE
- SIGN
- POST

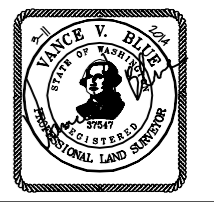
**PROLAND, LLC**



**LDC** Commercial Infrastructure Residential Telecom  
THE CIVIL ENGINEERING GROUP  
14201 NE 200th St., #100 Ph. 425.806.1889  
Woodinville, WA 98072 Fx. 425.482.2883  
www.LDCcorp.com

DATE:	3-11-14
DRAWN BY:	IGM
CHECKED BY:	VVB

REVISIONS			
REV	DATE	DESCRIPTION	BY

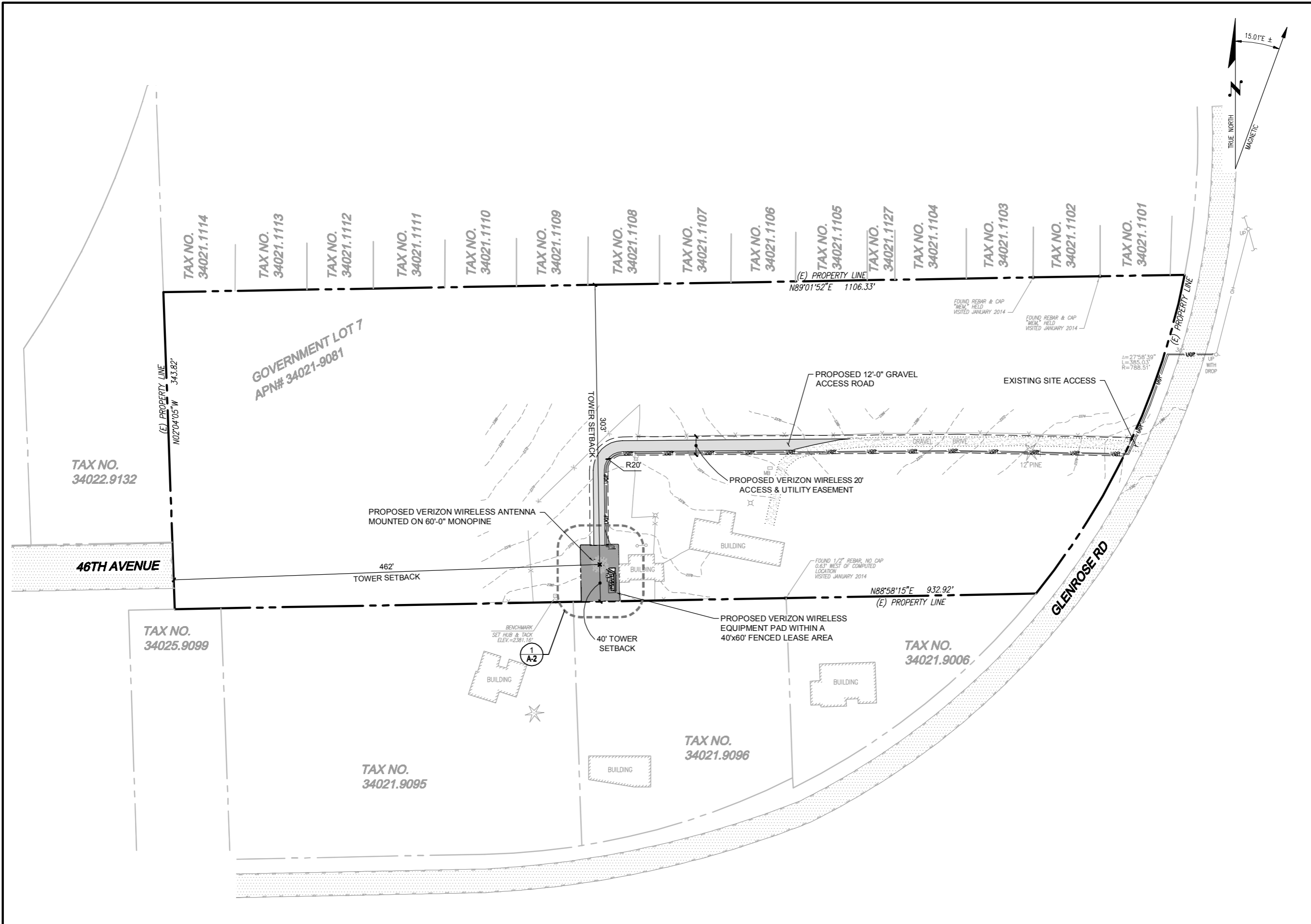


**SITE**  
SPO MORAN  
4620 S GLENROSE RD  
SPOKANE, WA

**SHEET TITLE**  
CIVIL SURVEY

**SHEET NUMBER**  
**C-1**

Drawing: P:\2014\Telecom\14-803 Verizon - SPO Moran\Drawings\Zoning\14803ZDD-A1-0.dwg Plotted: Jun 30, 2014 5:11 pm



**PROLAND, LLC**



**LDC** Architectural Engineering Structural Survey  
THE CIVIL ENGINEERING GROUP  
 14201 NE 200th St., #100 Ph. 425.806.1869  
 Woodinville, WA 98072 Fx. 425.482.2883  
 www.LDCcorp.com

DATE:	3-11-14
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CHECKED BY:	RBH

REVISIONS			
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1	3-11-14	PRELIMINARY ZONING	RBH
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4	4-16-14	REVISED PRELIMINARY ZONING	RBH
5	6-30-14	REVISED PRELIMINARY ZONING	RBH

8828 REGISTERED ARCHITECT  
**RICHARD B. HALL**  
 STATE OF WASHINGTON

**SITE**  
 SPO MORAN  
 4620 S GLENROSE ROAD  
 SPOKANE, WA 99223

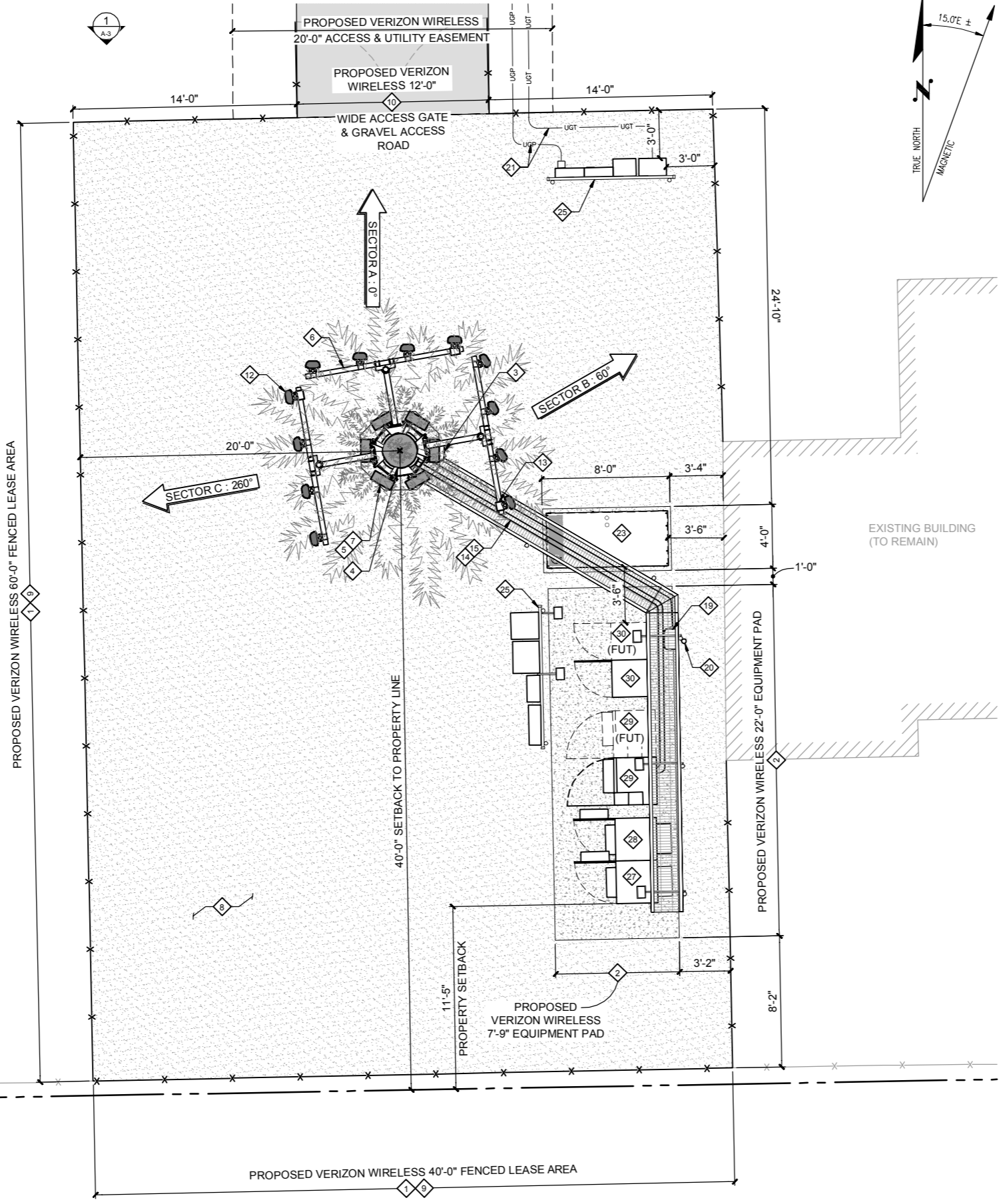
**SHEET TITLE**  
 SITE PLAN

**SHEET NUMBER**  
**A-1**

**SITE PLAN**

22"x34" SCALE: 1" = 50'    11"x17" SCALE: 1" = 100'

Drawing: P:\2014\Telecom\14-803 Verizon - SPO Moran\Drawings\Zoning\14803ZDD-A2-0.dwg Plotted: Jun 30, 2014 - 5:12pm



**CONSTRUCTION PLAN KEYED NOTES**

- 1 PROPOSED VERIZON WIRELESS LEASE AREA (40'x60').
- 2 PROPOSED VERIZON WIRELESS EQUIPMENT CONCRETE PAD (7'-9"x22'-0").
- 3 PROPOSED VERIZON WIRELESS RAYCAP DISTRIBUTION OVP BOX MOUNTED TO MONOPOLE.
- 4 PROPOSED 60'-0" MONOPOLE. ENGINEERED BY OTHERS. SEE SITE NOTE NO. 2.
- 5 PROPOSED VERIZON WIRELESS RING MOUNT.
- 6 PROPOSED T-ARM ANTENNA MOUNT.
- 7 PROPOSED VERIZON WIRELESS RRUS UNIT MOUNTED ON RING MOUNT (TYP 1 PER AWS & PCS ANTENNAS - 6 TOTAL).
- 8 SITE TO BE FILLED WITH 6" OF 3/4"Ø CRUSHED ROCK W/ WEED BARRIER ON 95% COMPACTED FILL.
- 9 PROPOSED 6'-0" HIGH CHAIN LINK FENCE WITH BROWN OBSCURING PRIVACY SLATS.
- 10 PROPOSED 12'-0" WIDE CHAIN LINK DOUBLE SWING GATE WITH LOCKING MECHANISM & BROWN OBSCURING PRIVACY SLATS. VZW SIGNAGE MOUNTED TO GATE.
- 11 PROPOSED VERIZON WIRELESS 20'-0" ACCESS & UTILITY EASEMENT.
- 12 PROPOSED VERIZON WIRELESS PANEL ANTENNA (4 PER SECTOR, 12 TOTAL).
- 13 PROPOSED VERIZON WIRELESS TMA (TOWER MOUNTED AMPLIFIER) MOUNTED TO ANTENNA MOUNT (1 PER SECTOR, 3 TOTAL).
- 14 PROPOSED COAXIAL CABLE / FIBER TO ANTENNAS.
- 15 PROPOSED 10'-0" HIGH PEDESTAL MOUNTED ICE BRIDGE WITH 8'-0" CLEAR BELOW COAX SUPPORT.
- 16 PROPOSED VERIZON WIRELESS RAYCAP OVP DISTRIBUTION MOUNTED TO PROPOSED ICE BRIDGE LEG NEAR CABINETS.
- 17 PROPOSED VERIZON WIRELESS GPS ANTENNA MOUNTED TO ICE BRIDGE LEG.
- 18 PROPOSED UNDERGROUND POWER & TELCO ROUTING.
- 19 PROPOSED VERIZON WIRELESS 50 KW GENERATOR MOUNTED ON A CONCRETE PAD.
- 20 PROPOSED UTILITY H-FRAME.
- 21 PROPOSED VERIZON WIRELESS BBU CABINET.
- 22 PROPOSED VERIZON WIRELESS POWER CABINET.
- 23 PROPOSED VERIZON WIRELESS MOD CELL CABINET.
- 24 PROPOSED VERIZON WIRELESS LTE CABINET.

**SITE NOTES**

1. VERIFY ANTENNA MODEL, RAD CENTER & AZIMUTHS WITH LOCKDOWN SET RF SITE BUILD FORM.
2. ANALYSIS OF TOWER & FOUNDATION SHALL BE PERFORMED BY OTHERS & STAMPED BY A LICENSED STRUCTURAL ENGINEER. IN ADDITION TO THE PROPOSED ANTENNA LOADING THE TOWER SHALL BE DESIGNED TO CARRY AT LEAST ONE ADDITIONAL WIRELESS CARRIER ANTENNA ARRAY.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL AND NATIONAL CODES, REGULATIONS AND SAFETY REGULATIONS. ALL OSHA REGULATIONS, ALL PUBLIC AND MUNICIPAL AUTHORITIES, AND ANY UTILITY COMPANIES' REGULATIONS AND DIRECTIVES.
2. THE DRAWINGS AND SPECIFICATIONS ARE A GENERAL DIRECTIVE FOR THE SCOPE OF WORK. EXACT DIMENSIONS AND LOCATIONS MAY CHANGE IN THE FIELD. THE CONTRACTOR IS TO VERIFY THE DIMENSIONS AND LOCATIONS AND REPORT ANY AND ALL DISCREPANCIES TO REPRESENTATIVE. ANY MINOR ERRORS AND OMISSIONS IN THE DRAWINGS AND SPECIFICATIONS DOES NOT EXCLUDE THE CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. CONTRACTOR IS RESPONSIBLE FOR FIELD MEASUREMENTS TO CONFIRM LENGTHS OF CABLE TRAYS AND ELECTRICAL LINES AND ANTENNA MOUNTING.
4. VERIFICATION THAT EXISTING TOWER/POLE CAN SUPPORT THE PROPOSED ANTENNA, COAX AND ADDITIONAL EQUIPMENT LOADING IS TO BE DONE BY OTHERS.
5. ANTENNA AZIMUTHS SHOWN ON THESE DRAWINGS ARE BASED ON TRUE NORTH. ALL AZIMUTHS MUST BE VERIFIED WITH THE CORRECT SMR PRIOR TO CONSTRUCTION.

**ENLARGED SITE PLAN**  
 22"x34" SCALE: 1/4" = 1'-0"    11"x17" SCALE: 1/8" = 1'-0"

**PROLAND, LLC**



**LDC** Architectural Engineering Structural Survey  
 THE CIVIL ENGINEERING GROUP  
 14201 NE 200th St., #100 Ph. 425.808.1889  
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 www.LDCcorp.com

DATE:	3-11-14
DRAWN BY:	AT
CHECKED BY:	RBH

REVISIONS			
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1	3-11-14	PRELIMINARY ZONING	RBH
2	3-26-14	REVISED PRELIMINARY ZONING	RBH
3	4-8-14	REVISED PRELIMINARY ZONING	RBH
4	4-18-14	REVISED PRELIMINARY ZONING	RBH
5	6-30-14	REVISED PRELIMINARY ZONING	RBH

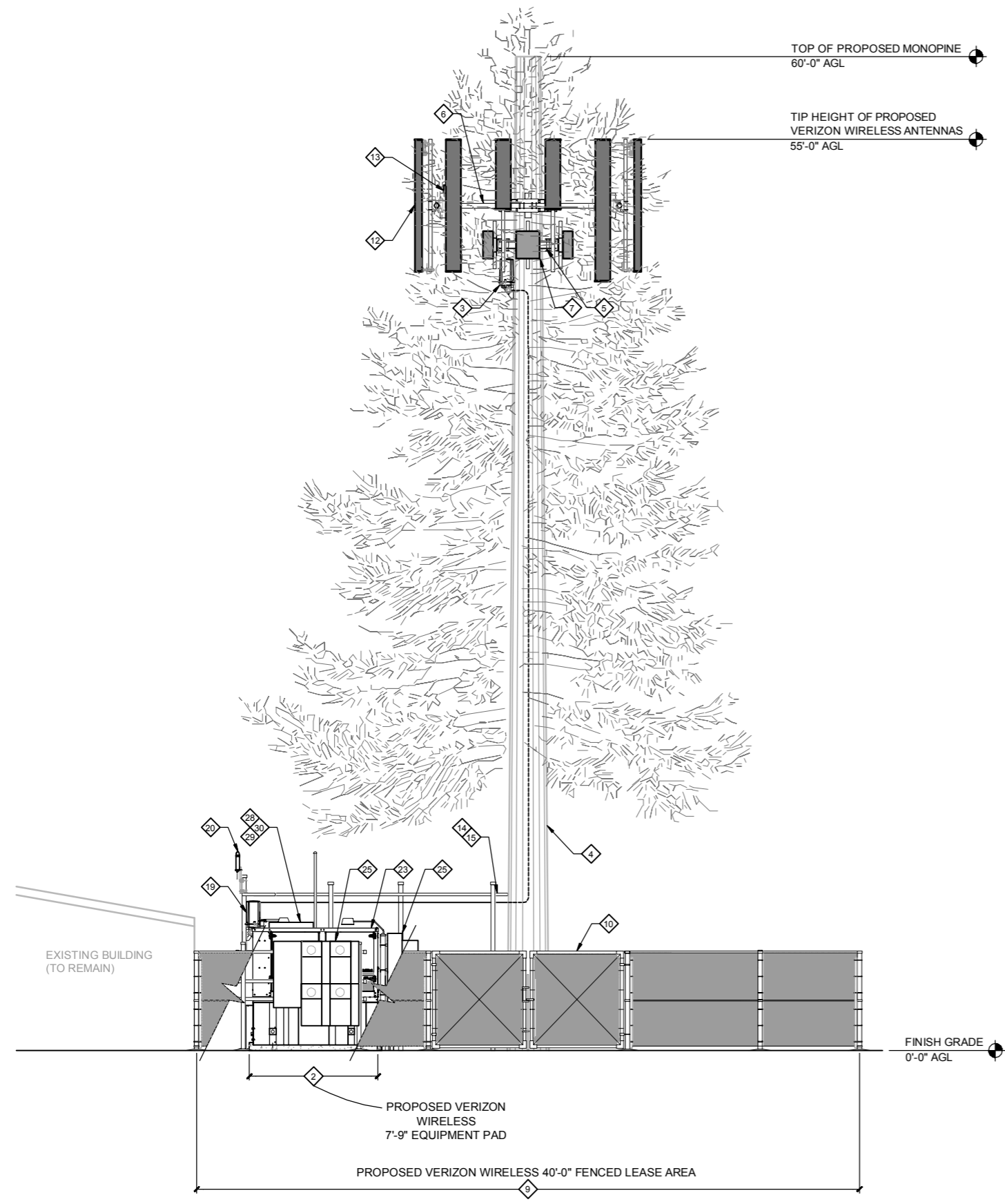


**SITE**  
 SPO MORAN  
 4620 S GLENROSE ROAD  
 SPOKANE, WA 99223

**SHEET TITLE**  
 ENLARGED SITE PLAN

**SHEET NUMBER**  
**A-2**

Drawing: P:\2014\Telecom\14-803 Verizon - SPO Moran\Drawings\Zoning\14803ZDD-A3-0.dwg Plotted: Jun 30, 2014 8:52:22pm



**PROPOSED NORTH ELEVATION (LOOKING SOUTH)**

22"x34" SCALE: 1/4" = 1'-0"    11"x17" SCALE: 1/8" = 1'-0"

**CONSTRUCTION PLAN KEYED NOTES**

- 2 PROPOSED VERIZON WIRELESS EQUIPMENT CONCRETE PAD (7'-9"x22'-0").
- 3 PROPOSED VERIZON WIRELESS RAYCAP DISTRIBUTION OVP BOX MOUNTED TO MONOPOLE.
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- 9 PROPOSED 6'-0" HIGH CHAIN LINK FENCE WITH BROWN OBSCURING PRIVACY SLATS.
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- 25 PROPOSED UTILITY H-FRAME.
- 26 PROPOSED VERIZON WIRELESS POWER CABINET.
- 29 PROPOSED VERIZON WIRELESS MOD CELL CABINET.
- 30 PROPOSED VERIZON WIRELESS LTE CABINET.

**SITE NOTES**

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5. ANTENNA AZIMUTHS SHOWN ON THESE DRAWINGS ARE BASED ON TRUE NORTH. ALL AZIMUTHS MUST BE VERIFIED WITH THE CORRECT SMR PRIOR TO CONSTRUCTION.

**PROLAND, LLC**



**LDC** Architectural  
Engineering  
Structural  
Survey  
THE CIVIL ENGINEERING GROUP  
14201 NE 200th St., #100 Ph. 425.808.1889  
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5	6-30-14	REVISED PRELIMINARY ZONING	RBH



**SITE**  
SPO MORAN  
4620 S GLENROSE ROAD  
SPOKANE, WA 99223

**SHEET TITLE**  
ELEVATION

**SHEET NUMBER**  
**A-3**