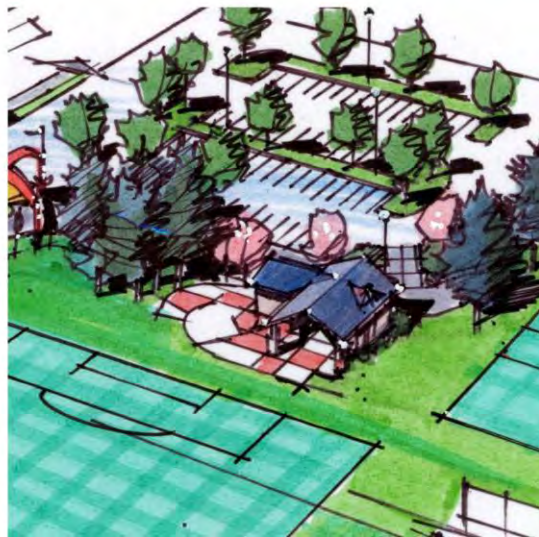


Southgate KXLY Development

SWC Regal Street & Palouse Highway

Design Review Board – First Submittal
December 15, 2016

Background & Context



Introduction

Narrative & Summary

Background:

In 2009, as part of Comprehensive Plan map amendments, the City and Owners of the three subject properties, entered into an agreement that would provide for commercial and retail development subject to certain conditions. The guiding precept of the resulting Development Agreement (DA) is establishment of a unified commercial district, spanning each of the three properties; the epicenter of which is the intersection of Regal and Palouse. The DA required that the Developers' prepare an Integrated Site Plan (ISP) showing implementation of six planning principles which establish the unified commercial district. In addition, the ISP provides a unified theme of similar architectural styles, colors, materials, site amenities. The unified theme is embodied in the ISP "Kit of Parts." The Integrated Site Plan and Kit of Parts were processed through the Design Review Board with collaborative input from City staff and Southgate Neighborhood Council representatives. The ISP and Kit of Parts were approved by the Planning Director with conditions in May 2013.

The Black/Target Development was the first project to move forward under the ISP and Development Agreement. The "Black Specific Plan" was processed through the Design Review Board to verify consistency with the intent of the ISP, Kit of Parts, and Development Agreement and was approved by the Director in April of 2013.

Project Description:

The KXLY development is the second development to proceed under the DA. The project area is +/- 14 acres and is contemplated to be anchored by a large regional grocery store, four buildings to accommodate small and medium-sized retailers, and two large future-phase buildings thought to be offices or similar uses. Future-phase buildings are not part of this application.

The KXLY Site Specific Plan incorporates the intent of the ISP's six guiding design principles and includes such features as: pedestrian and bicycle connectivity, preservation of selected Ponderosa Pine trees, unified design theme, community plaza, preservation of selected viewscales and design strategies to allow the project to evolve into an urban center over time as market forces dictate; in addition to compliance with the City's strict development standards for projects like this including landscaping, site lighting, building façade treatment, setbacks, parking standards, etc. Additionally, the project will incorporate selected features and finishes from the ISP Kit of Parts.

Submittal Intent

The intent of this Design Review Submittal is to present the design work prepared to date of both a general and specific nature, discuss applicable elements of the proposal with the DRB and demonstrate proposal's consistency with the intent of the ISP, Kit of Parts, and Development Agreement. The design effort presented herein is the culmination of years of collaboration with area stakeholders, most notably the Southgate Neighborhood Council, SNG Land Use Committee, City of Spokane, and City of Spokane Parks and Recreation Department.

Context Map

Integrated Sites & City Property



Context Map

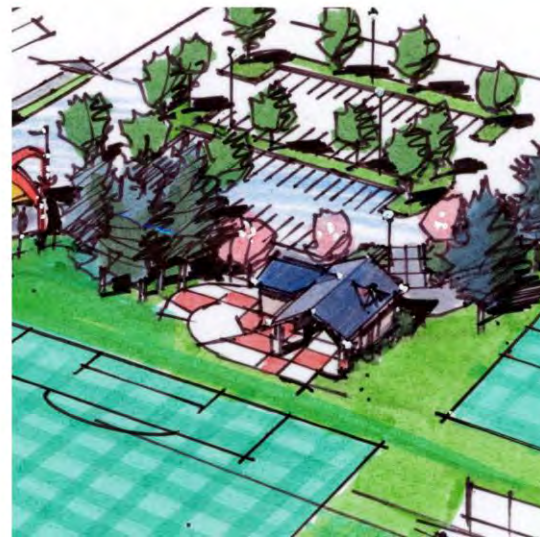
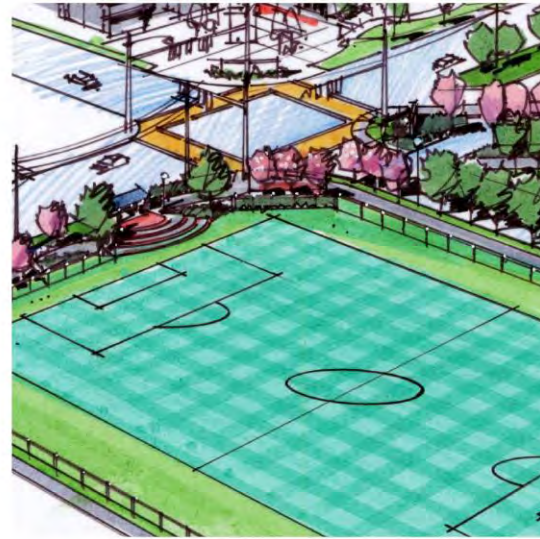
Property Purchased from City of Spokane



PSA City Parcel

In addition to property already owned, KXLY has entered into agreement with the City of Spokane to purchase the property immediately adjacent to the north, approximately 2.7 acres, bringing the total project ownership to +/- 16.7 acres.

The purchase and sale agreement with the City sets forth requirements of both the buyer and seller. The purchased property is to be treated as an extension of the principal KXLY property and subject to the same design and development requirements established in the DA and ISP and make development subject to the implementation memo. In addition, the City will set aside \$300k from the property sale price for trail development within the greater Southgate Neighborhood (at the time of this narrative, we understand the SGN has pledged \$150k of the \$300k to develop trails associated with this project). The PSA is contingent upon several factors including a successful map amendment to the Comprehensive Plan of the purchase property to CC2-DC and securing an easement across City Park property to access the development from the fourth leg of the signalized intersection at Regal and Palouse.



City Parks Board Collaboration

City Parks Board Collaboration

Southside Sports Complex

Key to the success of the KXLY development is access to the fourth-leg of the intersection at Regal and Palouse as contemplated in the ISP. The access is routed across City Park property. The effect of the access conflicts with existing park improvements including the Park's primary parking lot, two play fields and restroom kiosk.



Artist's Concept



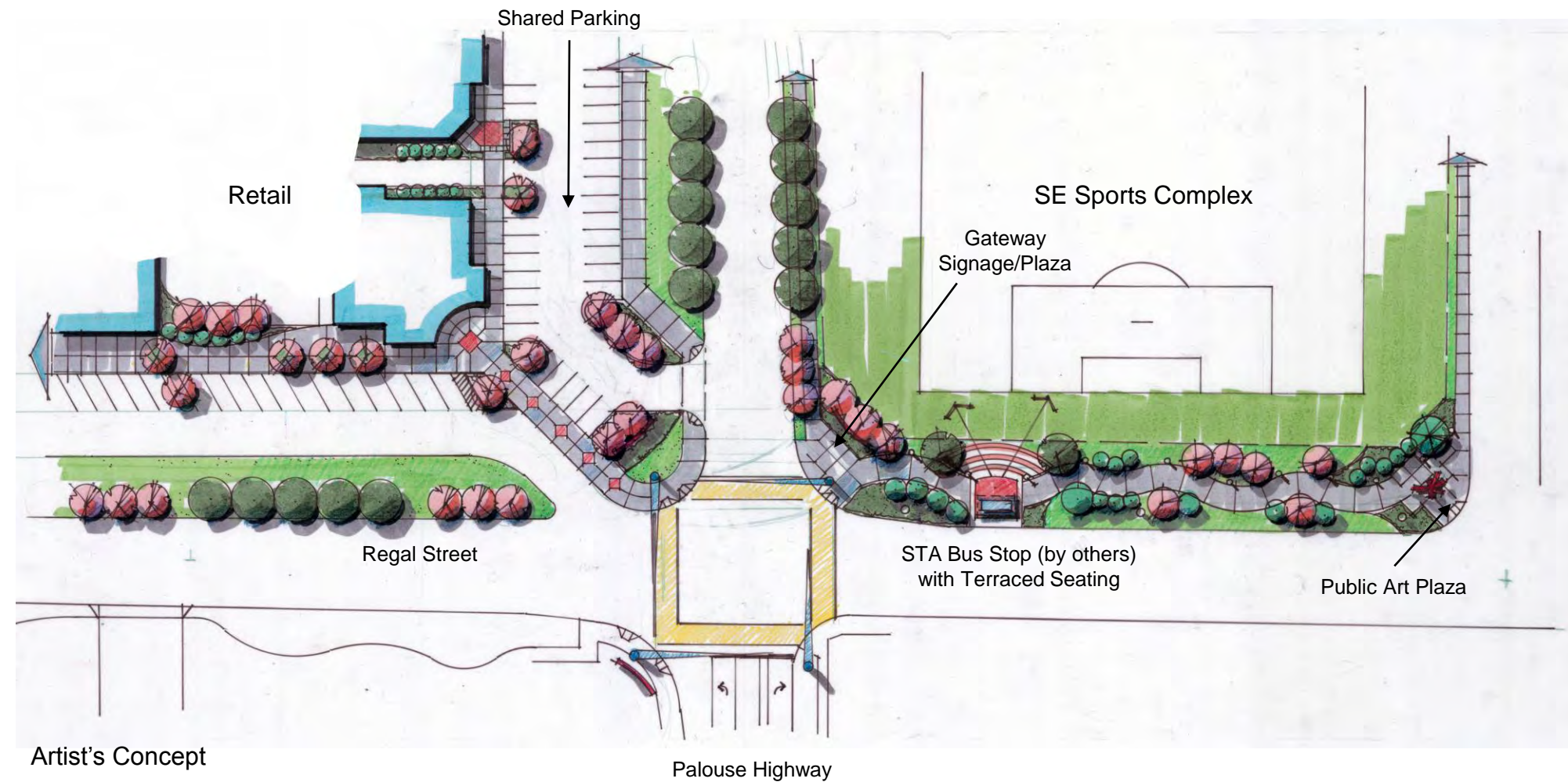
Artist's Concept

City Parks Board Collaboration

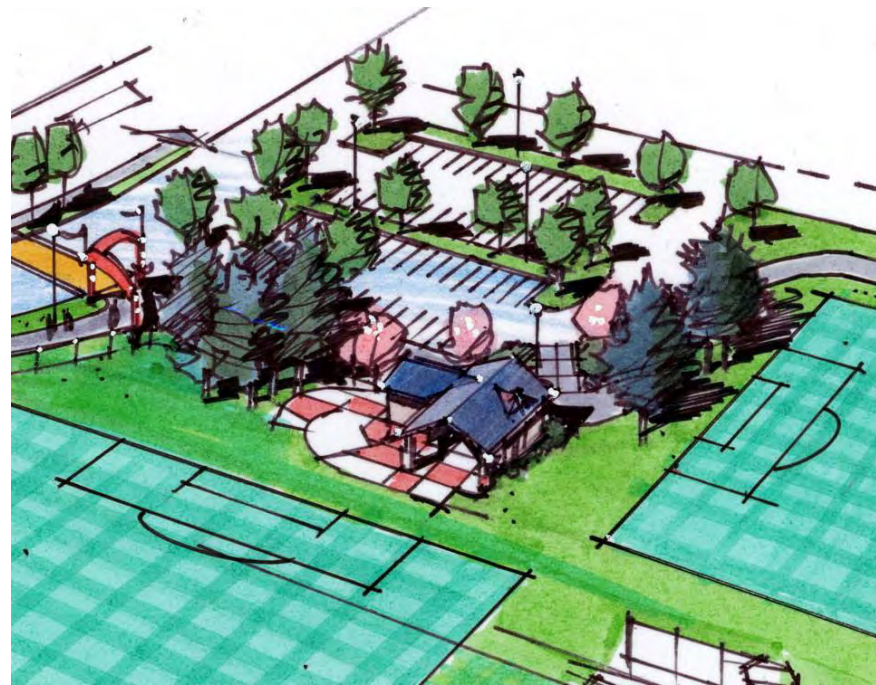
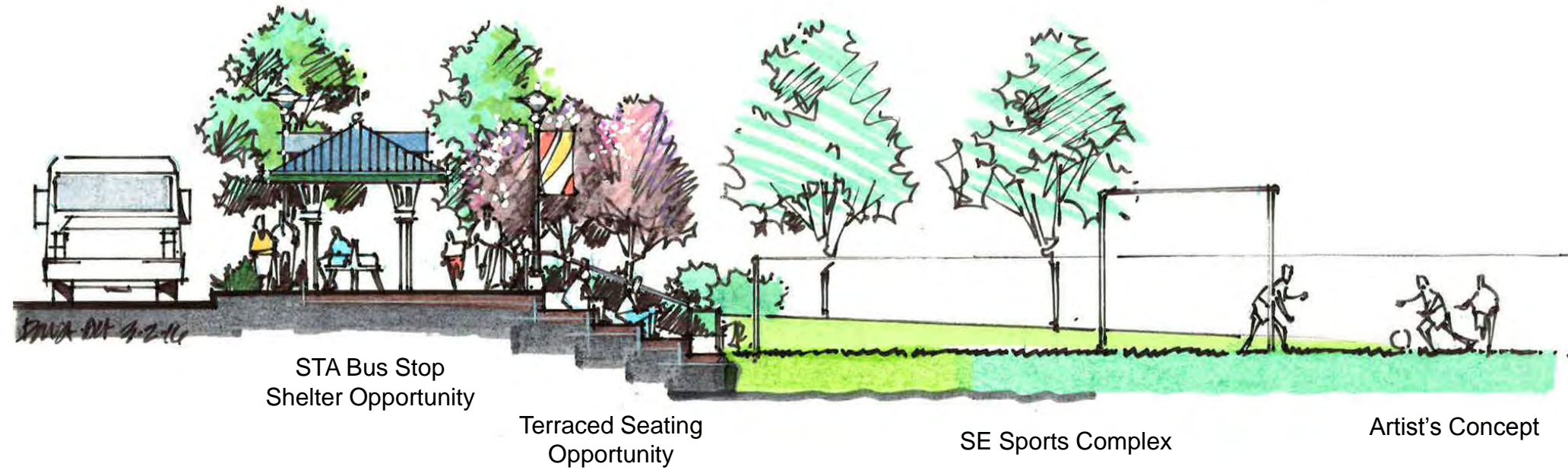
To mitigate the impacts to the park and public facilities, the City Parks Department and KXLY have entered into agreement to secure an access easement to the intersection through a development license agreement. In exchange for rights of access, KXLY, at their sole expense, will make the City and Public whole by:

- Reconfiguring the impacted soccer field in the NEC of the park (46th & Regal)
- Constructing a Ribbon Park along Parks Department property fronting Regal St.
- Constructing designated non-exclusive supporting parking for the Park including accessible parking spaces and barrier-free access from designated parking lots to the Park.
- Constructing a new replacement regulation-size turf soccer field on KXLY property directly adjacent to the park.
- Replacing existing restroom and storage kiosk.

In addition to constructing the improvements, KXLY will maintain the parking lots, ribbon park and other improvements within the described easement area as set forth in the development license agreement. This allows the City to retain the same number of public recreational facilities while relieving the City Parks Department of the burdensome maintenance of parking lots, sidewalks and other non-recreational related facilities. The proposed development license agreement easement has been approved by the Park Board and final details are being worked out with the KXLY design team and Parks Department representatives.

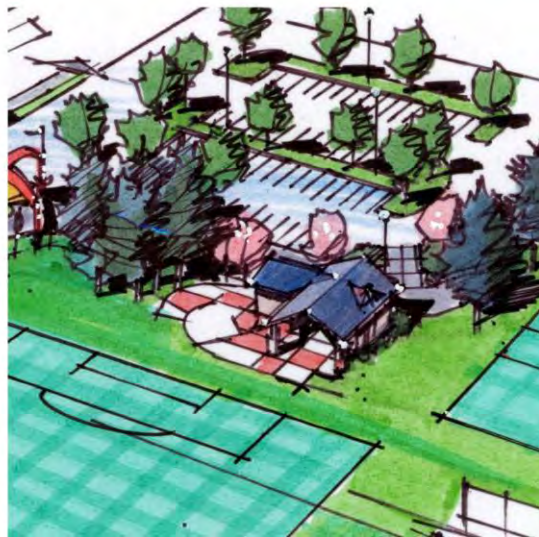


City Parks Board Collaboration



Artist's Concept

Site Plan



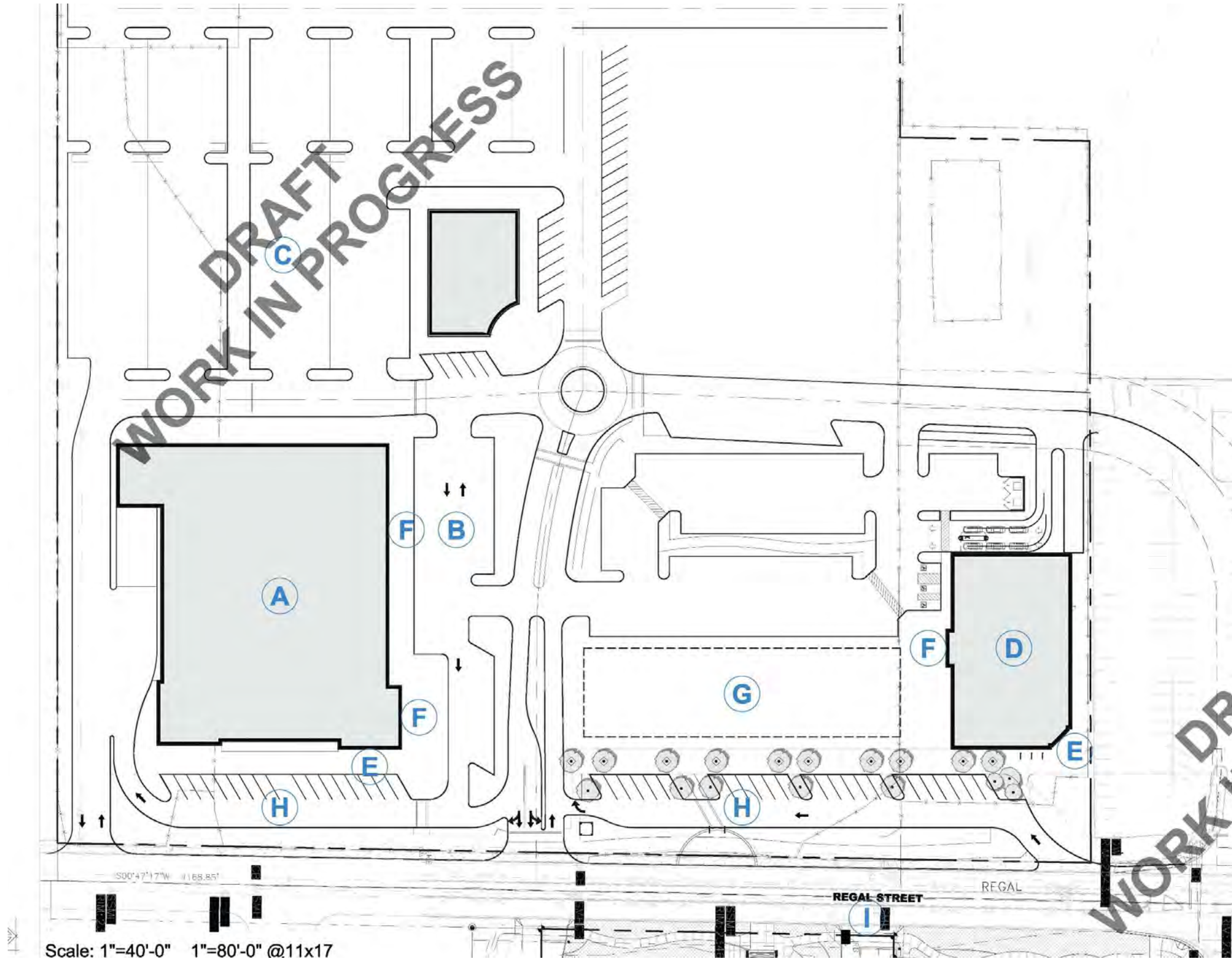
Existing Site Conditions and Context



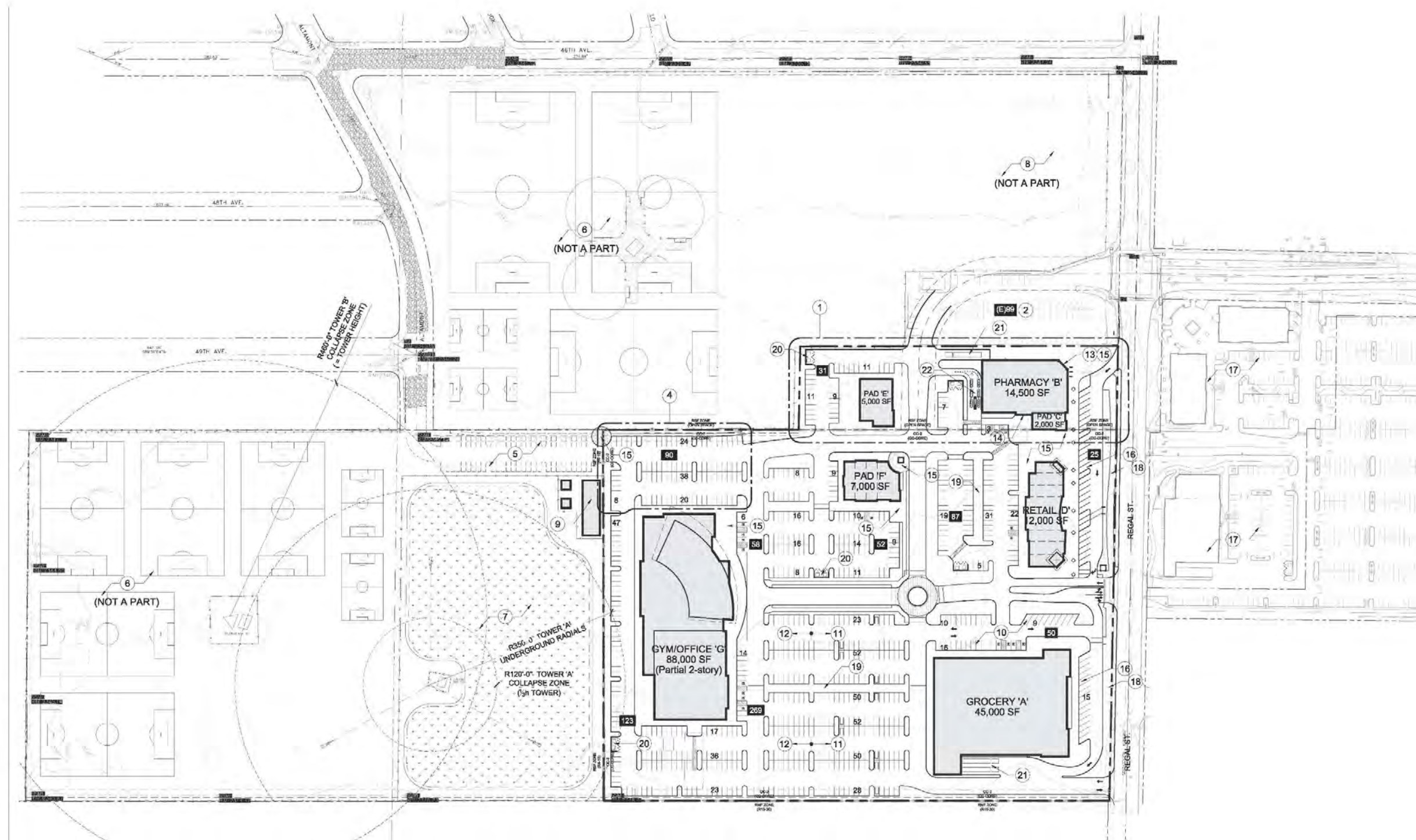
Site Evolution: 01



Site Evolution: 02



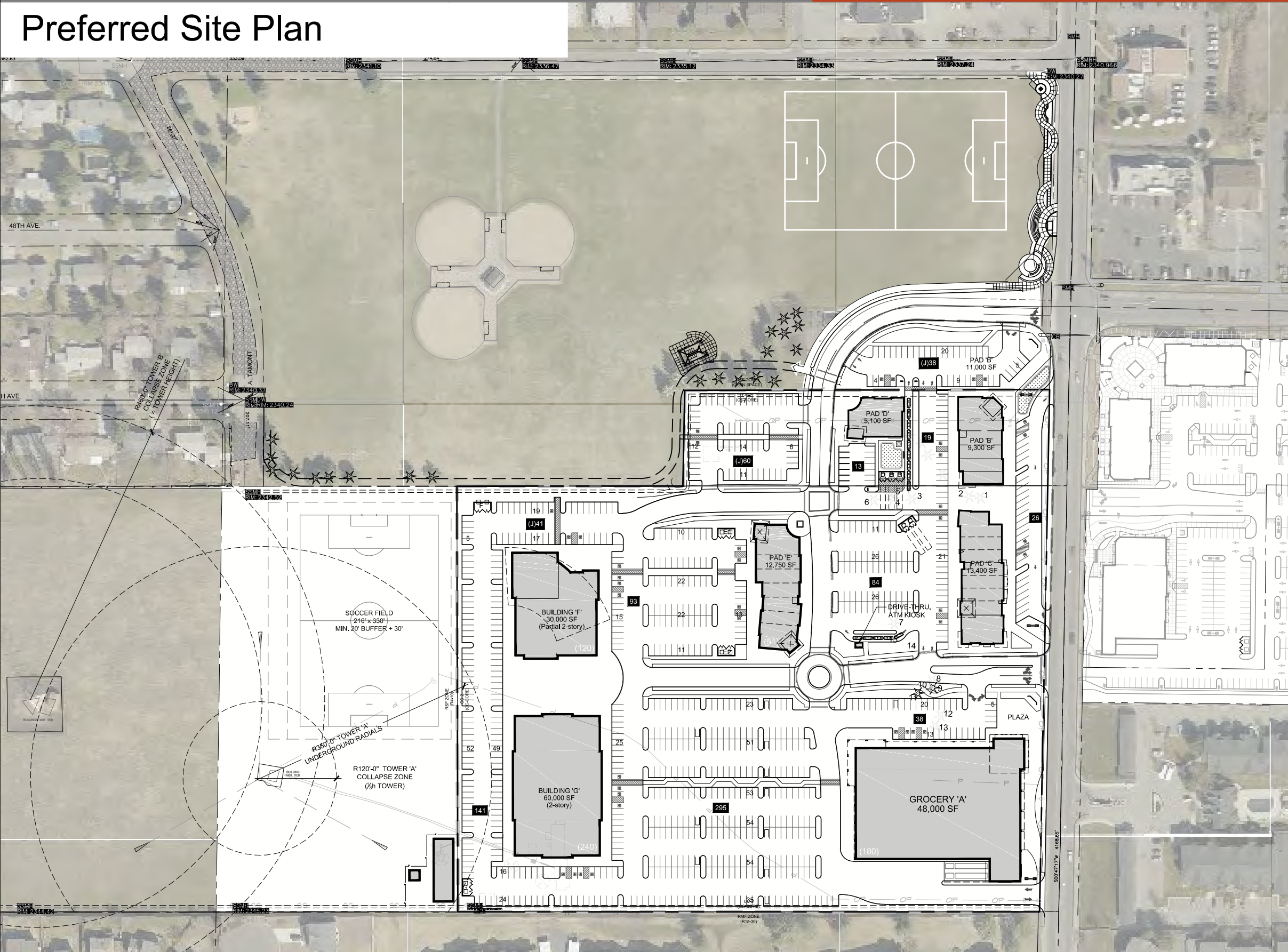
Site Evolution: 03



Site Evolution: Early Massing



Preferred Site Plan



A. SUBJECT PROPERTY(S) DATA

PARCEL ADDRESS	PARCEL NUMBER	ZONING & LAND USE	PARCEL AREA
5222 S. REGAL ST.	34041.9077	CC-2 DC (CC-1) CC CORE	609,840 SF
2651 E. 49th AVENUE	34041.0038	RSF OPEN SPACE	85,378 SF
ASSEMBLED PROPERTY AREA (ASSESSED):			695,218 SF
			15.96 ACRES

B. Required BLDG Setbacks & Landscaping

YARD / SITE LOCATION	REQ'D MIN. BUILDING SETBACK	SETBACK ADJACENT TO R-ZONE	REQ'D MIN. LANDSCAPING
FRONT	0-FEET	10-FEET	5-FEET
SIDES	0-FEET	10-FEET	5-FEET
REAR	0-FEET	10-FEET	5-FEET
STREETS	12-FEET BACK OF CURB	12-FEET BACK OF CURB	6-FEET
USE BUFFER	-	-	6-FEET + FENCE
INTERIOR	-	-	10% PARKING AREA

C. BUILDING(S) AREA & REQUIRED PARKING

BUILDING INFORMATION		REQUIRED PARKING	
BLDG NAME	BLDG AREA	MINIMUM (1/1000 SF)	MAXIMUM (1/250 SF)
GROCERY 'A'	48,000 SF	48.0 STALLS	192.0 STALLS
PAD 'B'	9,300 SF	9.3 STALLS	37.2 STALLS
PAD-C	13,400 SF	13.4 STALLS	53.6 STALLS
PAD-'D'	5,100 SF	5.1 STALLS	20.4 STALLS
PAD-'E'	12,750 SF	12.8 STALLS	51.0 STALLS
BUILDING -'F' (PARTIAL 2-STORY)	30,000 SF	30.0 STALLS	120.0 STALLS
BUILDING -'G' (2-STORY)	60,000 SF	60.0 STALLS	240.0 STALLS
TOTALS:	178,550 SF	179 Stalls	714 Stalls
PROVIDED PARKING:		849 Stalls	
LESS 139 SOCCER COMPLEX PARKING STALLS:		710 Stalls	
		3.98 STALLS / 1,000 SF	
DEVELOPMENT PARKING RATIO:			
REQUIRED ADA PARKING (5%):		42 ADA Stalls	
PARKING LOT TREES (1 INTERIOR TREE PER 6 STALLS PER 'SMC' 17C.200.040(F)a):		142 TREES	

D. PROJECT DATA

DATA	EXISTING	PROPOSED
OCCUPANCY GROUP	-	M, B, A2 & A3
CONSTRUCTION TYPE	-	TYPE-II & V-N
MAX. BLDG HEIGHT	-	55-FEET
MAX. FLOOR AREA RATIO (F.A.R.)	-	0.5
BLDG(S) SPRINKLED	-	YES
SEPA REQUIRED	-	YES
ESTIMATED PROJECT VALUE	-	\$0
ESTIMATED START DATE	-	TBD

Concept Landscape Plan



1 SCHEMATIC LANDSCAPE PLAN
SCALE: 1" = 80' 0"

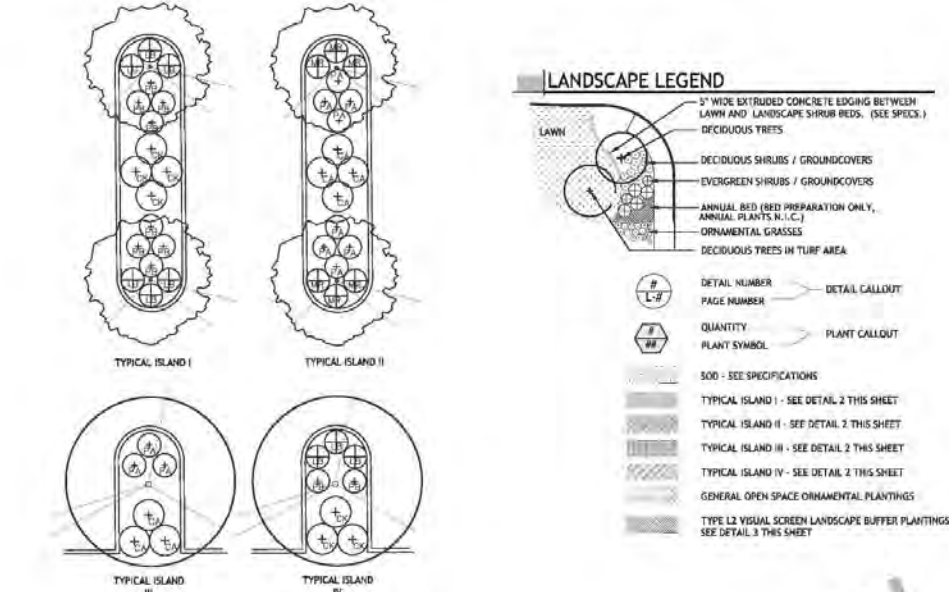
- LANDSCAPE NOTES**
- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
 - COORDINATE ALL WORK WITH ALL OTHER SITE RELATED DEVELOPMENT DRAWINGS.
 - COORDINATE WORK SCHEDULE AND OBSERVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START-UP.
 - ALL PLANT MATERIAL SHALL BE INSTALLED AS PER DETAILS.
 - ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN NURSERYMAN STANDARDS FOR TYPE AND SIZE SHOWN. PLANTS WILL BE REJECTED IF NOT IN A SOUND AND HEALTHY CONDITION.
 - IN THE EVENT OF A PLANT COUNT DISCREPANCY, PLANT SYMBOLS SHALL OVERRIDE SCHEDULE QUANTITIES AND CALL OUT SYMBOL NUMBERS.
 - ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 3" DEPTH OF SMALL (1" MINUS) TAN PERMA-BARK MULCH. SUBMIT SAMPLE FOR APPROVAL. BE MULCH ANY AREAS THAT ARE NOT 3" IN DEPTH AT THE END OF THE WARRANTY PERIOD AT NO COST TO THE OWNER.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS BEGINNING AT THE DATE OF ACCEPTANCE BY THE OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER.
 - FINISH GRADES SHALL PROVIDE A SMOOTH TRANSITION WITH ADJACENT SURFACES AND ENSURE POSITIVE DRAINAGE IN ACCORDANCE WITH THE SITE GRADING PLAN.
 - FERTILIZE ALL TREES AND SHRUBS WITH AGRIFORM PLANTING TABLETS. QUANTITY PER MANUFACTURER'S RECOMMENDATIONS.
 - ALL PLANTING BEDS SHALL HAVE A MINIMUM 18" DEPTH OF TOPSOIL. LAWN AREAS SHALL HAVE A MINIMUM 12" DEPTH OF TOPSOIL. SPREAD, COMPACT, AND FINE GRADE TOPSOIL TO A SMOOTH AND UNIFORM GRADE 3" BELOW ADJACENT SURFACES OF PLANTER BED AREAS, 1-1/2" BELOW ADJACENT SURFACES OF TURF SOO AREAS, AND 1" BELOW ADJACENT SURFACES OF TURF SEED AREAS.
 - IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, ENSURE IT IS FERTILE, FRABLE, NATURAL LOAM, SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER DISTRAGNEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
 - OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THOSE FOUND ON THE PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS AT A DEPTH OF NOT LESS THAN 4 INCHES.
 - IMMEDIATELY CLEAN UP ANY TOPSOIL OR OTHER DEBRIS ON THE SITE CREATED FROM LANDSCAPE OPERATIONS AND DISPOSE OF PROPERLY OFF SITE.
 - TREES SHALL NOT BE PLANTED WITHIN THE 10'-0" CLEAR ZONE OF ALL STORM DRAIN PIPE, STRUCTURES, OR FACILITIES.
 - SEEPAGE BEDS AND OTHER STORM DRAINAGE FACILITIES MUST BE PROTECTED FROM ANY AND ALL CONTAMINATION DURING THE CONSTRUCTION AND INSTALLATION OF THE LANDSCAPE IRRIGATION SYSTEM.
 - IN THE EVENT OF A DISCREPANCY, NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY.

PLANT SCHEDULE - TREES

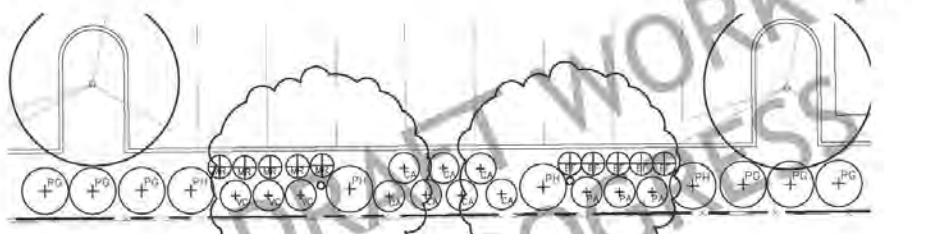
KEY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE	NOTES	USDA ZONE
LARGE DECIDUOUS SHADE TREES						
AP	ACER PLATANOIDES 'DEBORAH'	DEBORAH NORWAY MAPLE	2" CAL.	BBB	45' X 40' W	ZONE 3
CJ	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	2" CAL.	BBB	50H X 30W	ZONE 4
TC	TILIA CORDATA 'CHANCOLE'	CHANCELLOR LITTLELEAF LINDEN	2" CAL.	BBB	35H X 20W	ZONE 3
SMALL DECIDUOUS AND FLOWERING TREES						
PC	PRUNUS SARGENTII 'COLUMBIANUS'	COLUMBIAN SARGENT CHERRY	2" CAL.	BBB	30H X 15W	ZONE 4
PJ	PYRUS USSURIENSIS 'MORDAK'	PRAIRIE GEM FLOWERING PEAR	2" CAL.	BBB	25H X 20W	ZONE 3
QR	QUERCUS ROBUR X Q. ALBA	CRIMSON SPIRE OAK	2" CAL.	BBB	40H X 15W	ZONE 4
ZS	ZELKOVA SERRATA 'JFS-KWY'	CITY SPIRIT ZELKOVA	2" CAL.	BBB	24H X 18W	ZONE 5
EVERGREEN TREES						
PS	PINUS SYLVESTRIS	SCOTCH PINE	6" TALL	BBB	40H X 30W	ZONE 3
PV	PINUS FLEXILIS 'VANDERWOLF'S'	VANDERWOLF'S LIMBER PINE	6" TALL	BBB	25H X 15W	ZONE 4

PLANT SCHEDULE - PERENNIALS AND GRASSES

KEY	BOTANICAL NAME	COMMON NAME	SIZE
CA	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER	FEATHER REED GRASS	1 GAL.
CK	CORNUS SERICEA 'VESELY'	KELSEY RED OSIER DOGWOOD	3 GAL.
EF	EUPONYMIUM FORTUNEI 'EMERALD GAUITY'	EMERALD GAUITY WINTERCREEPER	3 GAL.
LB	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.
MR	MAHONIA REPENS	CREeping MAHONIA	3 GAL.
PA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	ABBOTSWOOD POTENTILLA	3 GAL.
PB	POTENTILLA FRUTICOSA 'PINK BEAUTY'	PINK BEAUTY POTENTILLA	3 GAL.
PH	PHYSCARPUS OPHIOPOLIS 'SEAWARD'	SUMMER WINE NINEBARK	5 GAL.
PG	PINUS SYLVESTRIS 'GLAUCO NANA'	DWARF SCOTCH PINE	5 GAL.
YC	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	3 GAL.



2 TYPICAL LANDSCAPE ISLANDS
SCALE: 1" = 10' 0"

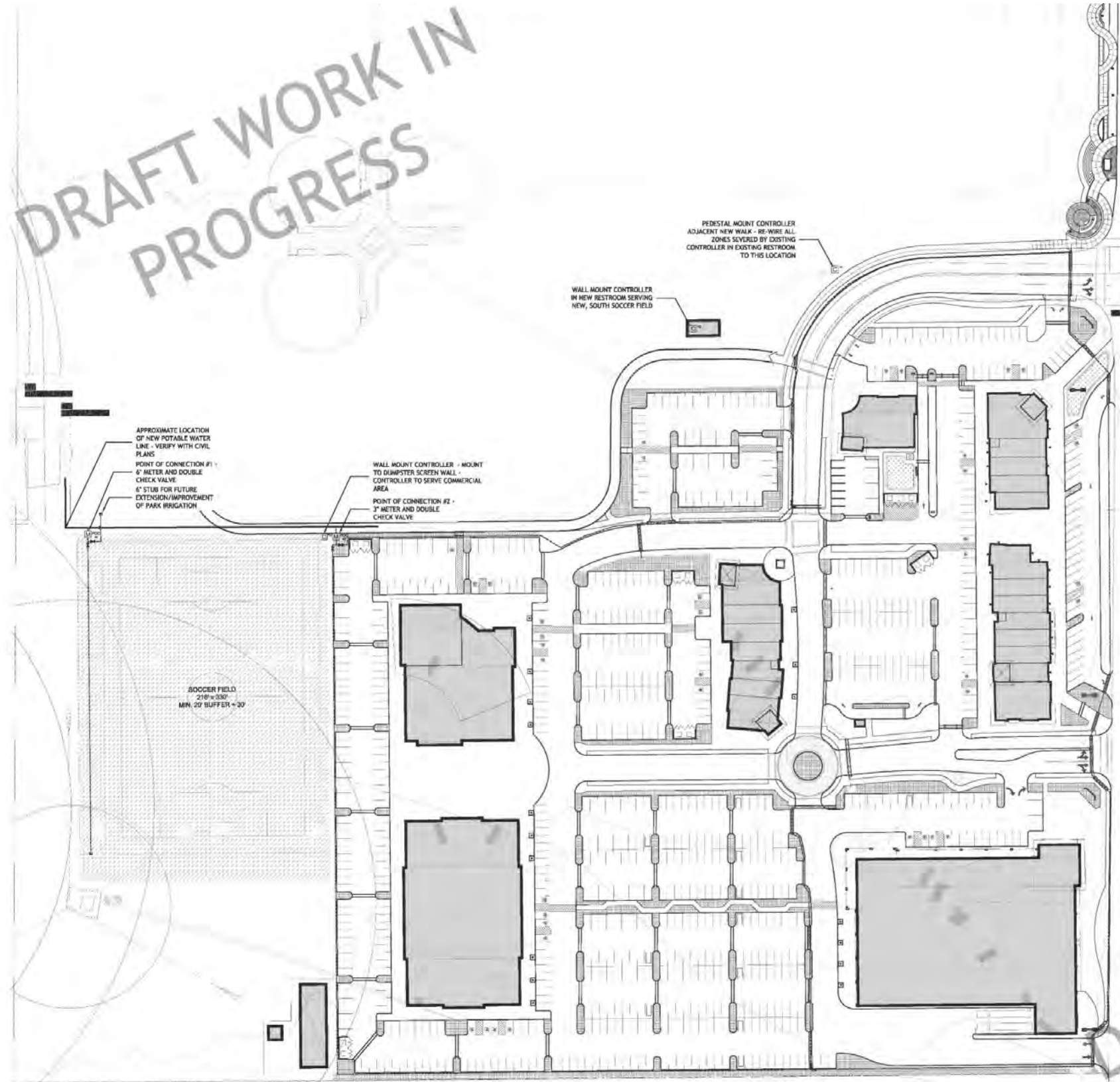


3 TYPICAL L2 VISUAL SCREEN BUFFER
SCALE: 1" = 10' 0"

UTILITY STATEMENT
LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.

UNDERGROUND SERVICE ALERT
ONE-CALL NUMBER
811
CALL END SERVICES UNIT REFER TO 811

Concept Irrigation Plan



IRRIGATION LEGEND

IRRIGATION TYPE	
[Symbol]	DRIP LINE AREA - SHRUB BED AREAS - TO BE LAID OUT ACCORDING TO MANUFACTURER'S RECOMMENDATIONS "RAIN BIRD" XP'S SUB-SURFACE DRIPLENE WITH COPPER SHIELD, XFS-06-18 (18" LINE SPACING AND 18" EMITTER SPACING) (0.6 GPH EMITTERS)
[Symbol]	TURF SPRAY AREA - NARROW TURF AREAS - SHORT RADIUS RAINBIRD (NWR OR VAN SERIES) SPRAYS - TO BE LAID OUT ACCORDING TO HEAD LAYOUT SHOWN ON IRRIGATION PLANS (TRD).
[Symbol]	ROTOR AREA - SPORTS FIELD TURF AREAS - LARGE RADIUS HUNTER ROTORS - TO BE LAID OUT ACCORDING TO HEAD LAYOUT SHOWN ON IRRIGATION PLANS (TRD).

EQUIPMENT				
SYMBOL	MFG	DESCRIPTION	MODEL NO.	DETAIL NO.
[Symbol]	P.O.C. #1	POINT OF CONNECTION TO POTABLE WATER LINE - 6" METER		
[Symbol]	P.O.C. #2	POINT OF CONNECTION TO POTABLE WATER LINE - 3" METER		
[Symbol]	RAINBIRD	CONTROLLER #1	ESP-LXME/F	
[Symbol]	RAINBIRD	CONTROLLER #2	ESP-LXME/F	
[Symbol]	RAINBIRD	CONTROLLER #3	ESP-LXME/F	
[Symbol]	RAINBIRD	RAIN SENSOR - WIRELESS	WR2-RFC	
[Symbol]	RAINBIRD	CONTROL VALVE	PEB	
[Symbol]	RAINBIRD	MODULAR PRESSURE REGULATOR	PRS-DAL	
[Symbol]	WATTS	ISOLATION VALVE	WGV-X	
[Symbol]	RAINBIRD	QUICK COUPLER	440P	
[Symbol]		PHASE I - 3" SCH. 40 PVC MAINLINE - UNLESS OTHERWISE NOTED		
[Symbol]		PHASE II - 3" SCH. 40 PVC MAINLINE - UNLESS OTHERWISE NOTED		
[Symbol]		6" SCH. 40 PVC SLEEVING - UNLESS NOTED IN SPECS.		
[Symbol]		* THE NUMBER IN FRONT OF THE SV INDICATES THE QUANTITY OF SLEEVES IN THAT AREA		

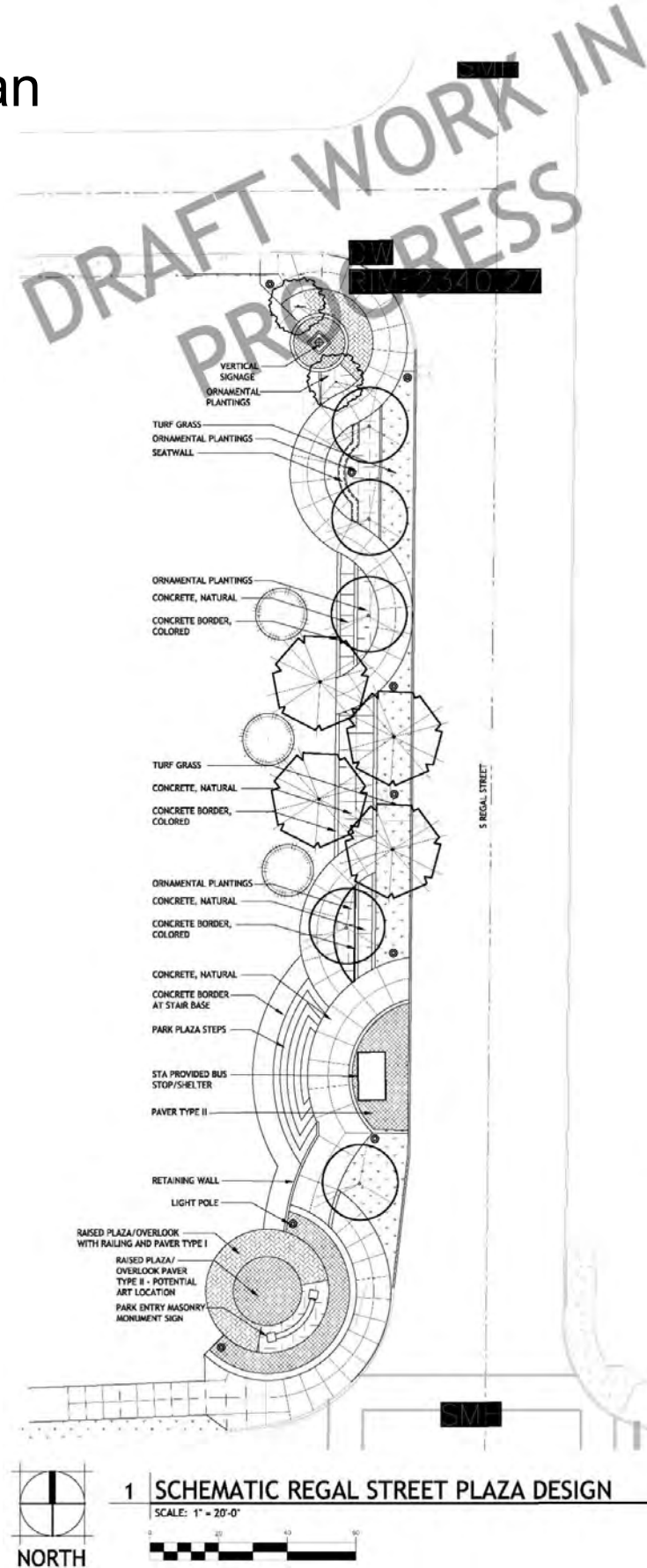
IRRIGATION NOTES

- ALL WORK SHALL BE PERFORMED BY PERSONS FAMILIAR WITH THIS TYPE OF WORK AND UNDER THE SUPERVISION OF A QUALIFIED FOREMAN. THE FOREMAN SHALL REMAIN ON-SITE DURING ALL LANDSCAPE SOIL PREPARATION, IRRIGATION AND PLANTING INSTALLATIONS.
- CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND ORDINANCES.
- CONTRACTOR TO VERIFY LOCATION OF ALL UTILITIES PRIOR TO INITIATION OF ANY DEMOLITION OR CONSTRUCTION OPERATIONS. ANY DAMAGE TO EXISTING UTILITIES ON SITE OR ADJACENT PROPERTY SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
- COORDINATE ALL IRRIGATION INSTALLATION OPERATIONS WITH CIVIL, AND ELECTRICAL ENGINEERING SHEETS.
- IN THE EVENT OF A DISCREPANCY, IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO NEW OR EXISTING CONCRETE FLOORING, ASPHALT, OR LANDSCAPE AND TURF AREAS AS A RESULT OF CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INITIAL ANNUAL IRRIGATION SCHEDULE AND SHALL AFFIX THE SCHEDULE INSIDE THE CONTROLLER CABINET DOOR.
- LOCATIONS OF EQUIPMENT SHALL BE APPROVED IN THE FIELD WITH OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL SUPPLY "AS-BUILT" DRAWINGS TO THE OWNER PRIOR TO FINAL ACCEPTANCE. AS BUILTS SHALL BE IN BOTH PAPER FORM AND AUTOCAD DRAWING FORMAT SUBMITTED ON A CD.
- CONTRACTOR SHALL FURNISH ALL LABOR, TOOLS, EQUIPMENT AND HARDWARE NECESSARY FOR PRODUCTION, EXECUTION AND COMPLETION OF ALL IRRIGATION WORK.
- CONTRACTOR TO OBTAIN AND PAY FOR ALL PERMITS AND FEES REQUIRED FOR THIS WORK.
- CONTRACTOR SHALL VERIFY WORKING PSI AT MAXIMUM OPERATING FLOW PRIOR TO CONSTRUCTION OF SYSTEM AND NOTIFY OWNERS REPRESENTATIVE OF ANY FINDINGS. (1/2" - 7/8" HIGH, 50 LOW PSI REPORTED)
- CONTRACTOR SHALL PERFORM WATER COVERAGE TEST PRIOR TO SEEDING/SOCCING TURF. IF NECESSARY ADJUST IRRIGATION SO 100% COVERAGE IS MET.
- ALL DISTURBED AREAS SHALL BE SOODED AND RECEIVE TEMPORARILY IRRIGATION THROUGHOUT THE WARRANTY PERIOD UNLESS OTHERWISE INDICATED.
- ALL EXISTING GRASS REMOVED FOR TRENCHING SHALL BE SAVED FOR REPLACEMENT. IF, AT THE DISCRETION OF THE OWNERS REPRESENTATIVE, THE SAVED GRASS DOES NOT SEEM ALIVE THEN NEW SOU SHALL BE INSTALLED IN ITS PLACE AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING EXISTING LAWNS AND LANDSCAPE ALIVE AND THRIVING DURING ALL PHASES OF CONSTRUCTION. ANY LANDSCAPE AND TURF GRASS AREAS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO OWNERS SATISFACTION AT NO ADDITIONAL COST.
- CONTRACTOR SHALL PATCH AND REPAIR EXISTING IRRIGATION SYSTEM AS REQUIRED FROM DAMAGE CAUSED BY CONSTRUCTION ACTIVITIES.
- USE KING BROTHERS (KB) VALVE OR IN HEAD DRAIN CHECK VALVES TO PREVENT LOW HEAD DRAINAGE WHERE IT OCCURS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL ROCK AND DEBRIS BROUGHT TO THE SURFACE AS A RESULT OF TRENCHING OPERATIONS.
- IRRIGATION CONTROL WIRE SHALL BE 12 GAUGE INSULATED DIRECT BURIAL SINGLE CONDUCTOR PE IRRIGATION WIRE. 2 SPARE WIRES SHALL BE INSTALLED THROUGHOUT ENTIRE IRRIGATION SYSTEM AND BE OF A UNIFORM COLOR (ORANGE).
- ALL 24V. WIRING UNDER PATHWAYS, PAVING AND ROADWAYS SHALL BE IN A SEPARATE 2" SLEEVE, UNLESS OTHERWISE NOTED ON PLAN, AT DEPTH & TYPE PER SPECIFICATIONS.
- ALL WIRE SPLICES TO BE DONE WITH SPECIFIED DOR & WIRE SPLICE SNAP CONNECTOR AND SEALER OR APPROVED EQUAL.
- CONTROL WIRES NOT FOLLOWING MAINLINE TRENCH SHALL BE IN SCH. 40 PVC CONDUIT. SIZE TO FIT.
- TERMINATION OF UNUSED CONTROL WIRE SHALL BE COVERED WITH A WIRE NUT AND PLACED WITHIN SPECIFIED DOR-6 WIRE SPLICE SNAP CONNECTOR AND SEALER, AND PLACED IN A CONTROL VALVE BOX.
- ALL TRENCHING REQUIRED WITHIN PAVED AREAS SHALL BE BACKFILLED IN 4" LFPS AND COMPACTED TO 95% RELATIVE COMPACTION PER ASTM D1557. SETTING IS NOT ALLOWED. THE MOISTURE CONTENT SHALL RANGE FROM OPTIMUM TO 2% ABOVE OPTIMUM MOISTURE CONTENT AT TIME OF PLACEMENT. ALL COMPACTION SHALL BE COMPLETED WITH SPECIFIC EQUIPMENT THAT CAN COMPACT NARROW TRENCHES. THIS COMPACTION REQUIREMENT SHALL EXCEED INSIDE THE LANDSCAPED AREAS BEHIND BACK OF CURB.
- ALL PIPE LINES SHALL BE PLACED SO THAT DESCRIPTIONS FACE UP.
- PLACE NON-POTABLE PURPLE LOCATOR RIBBON 3" ABOVE PROTECTIVE LAYER OF SOIL ON MAINLINE ONLY.
- ONE TEE OR ELBOW OFF OF MAINLINE PER REMOTE CONTROL VALVE. ONE REMOTE CONTROL VALVE PER VALVE BOX. NO MANHOLE SYSTEMS.
- THE MAINLINE PIPE CONNECTION TO THE CONTROL VALVE SHALL BE THE SAME SIZE PIPE AS EXITING THE CONTROL VALVE.
- CONTRACTOR SHALL LOCATE CONTROL VALVES AND ISOLATION VALVES WITHIN 1' OF SIDEWALKS OR CURB EDGES IN A CLEAN ORDERLY MANNER WHENEVER POSSIBLE.
- ALL VALVE BOXES (VB) LOCATED ON A SLOPE SHALL BE PLACED SO THAT ALL 4 CORNERS OF THE VALVE BOX ARE FLUSH WITH THE SLOPE.
- CONTRACTOR SHALL COORDINATE AND VERIFY THE INSTALLATION OF SLEEVES, WITH RESPECTIVE CONTRACTORS, IN ALL NECESSARY LOCATIONS FOR THE PROPOSED IRRIGATION DESIGN, PRIOR TO HARDSCAPE BEING INSTALLED THAT WOULD PREVENT ACCESS TO ADJACENT LANDSCAPE AREAS. FAILURE TO VERIFY ALL NECESSARY IRRIGATION IS INSTALLED TO LANDSCAPE AREAS PRIOR TO HARDSCAPE BEING INSTALLED SHALL RESULT IN THE CONTRACTOR BEING RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH EXTENDING THE IRRIGATION AND ANY HARDSCAPE PATCHING, REMOVAL, AND REPAIR REPLACEMENT.
- INSTALL THE PRESSURE REGULATOR WHERE INDICATED WITH AN (M) NEXT TO THE CONTROL VALVE SYMBOL AND SET SO THAT ALL IRRIGATION HEADS ON CONTROL VALVE RECEIVE STATED PSI PER LEGEND.
- IRRIGATION SHALL BE ADJUSTED SO THAT NO OVERSPRAY HITS THE BUILDING, AND MINIMUM TO NO OVERSPRAY HITS SIDEWALKS, AND PAYMENT.
- POWER SHALL BE SUPPLIED TO CONTROLLER LOCATION BY GENERAL CONTRACTOR. LANDSCAPE CONTRACTOR SHALL INFORM GENERAL OF THE NEED FOR 110V POWER AT THE REQUIRED LOCATION.
- NO CONTROL WIRES TO BE PLACED IN THRUST BLOCKS. LOCATE WIRES ON OPPOSITE SIDE OF THRUST BLOCK. CONTROL WIRES NOT FOLLOWING MAINLINE TRENCH SHALL BE IN CONDUIT.
- RAIN SENSOR SHALL BE LOCATED IN THE BEST POSITION TO RECEIVE RAINFALL. SUBMIT LOCATION OF RAIN SENSOR FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL COORDINATE WINTERIZATION OF THE SYSTEM WITH THE MAINTENANCE STAFF. THE CONTRACTOR SHALL INSPECT, ADJUST & MAKE ANY NECESSARY REPAIRS TO THE SYSTEM THE SPRING FOLLOWING INSTALLATION.

1 SCHEMATIC IRRIGATION PLAN
SCALE: 1" = 60'-0"

<p>UTILITY STATEMENT LOCATION OF EXISTING UNDERGROUND UTILITIES HAVE BEEN TAKEN FROM DRAWINGS AND FIELD LOCATES SUPPLIED BY THE APPROPRIATE UTILITY COMPANIES. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY. PRIOR TO BEGINNING ANY CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF EACH UTILITY.</p>	<p>UNDERGROUND SERVICE ALERT ONE-CALL NUMBER 811 CALL TWO BUSINESS DAYS BEFORE YOU DIG</p>
--	--

Concept 'Ribbon Park' Plan



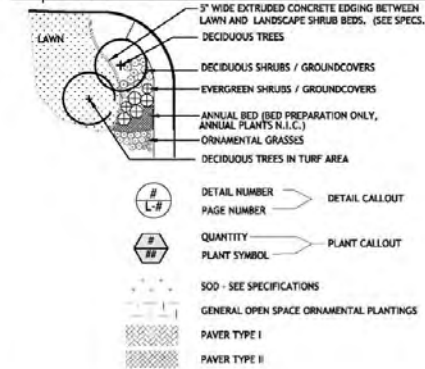
PLAZA MODEL IMAGES



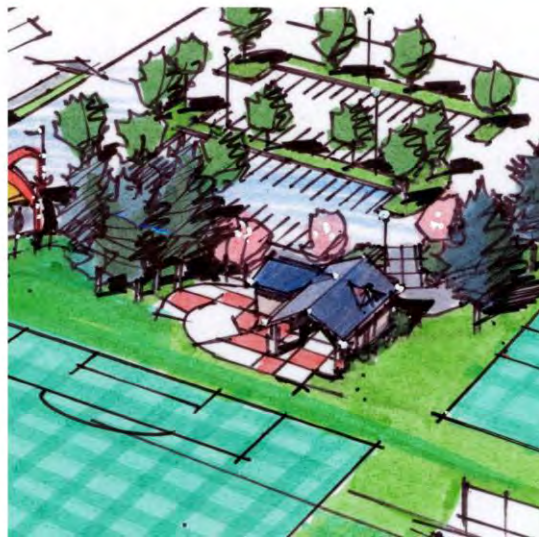
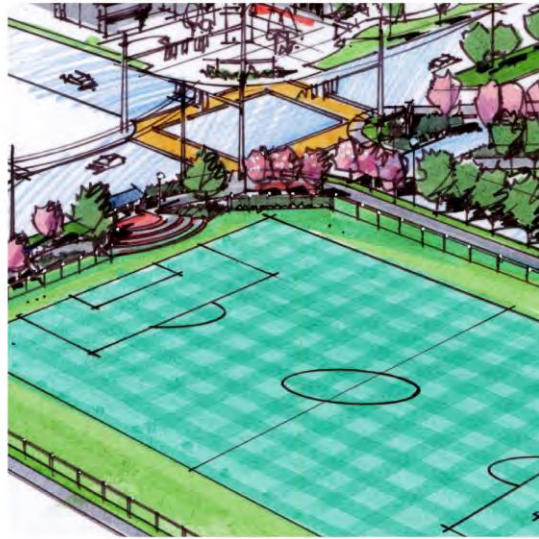
PLAZA MATERIAL CHARACTER IMAGES



LANDSCAPE LEGEND



Design Deviations

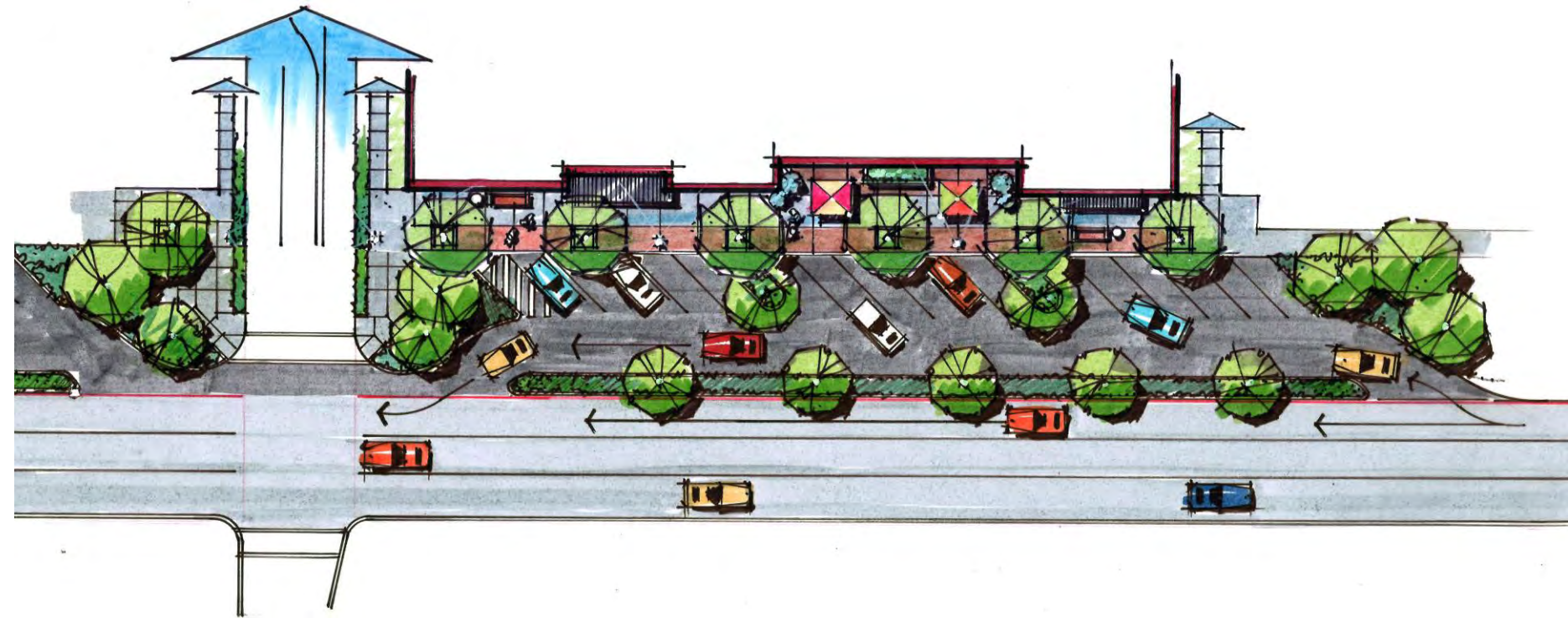


Design Deviation 1: Simulated Streetscape

The ISP, implementation memo, and Southgate Neighborhood aspire to create a walkable urban streetscape. A key component of the urban streetscape desired by the Neighborhood is on-street parking. The implementation memo obligates the City to provide on-street parking along Regal and Palouse. It is understandable that the idea of street parking would exacerbate an already difficult traffic issue along the south Regal corridor.

In an effort to find a middle ground, the KXLY Development team visited with the Southgate Neighborhood to collaborate on unique solutions to bridge the gap between the need to keep traffic moving on Regal and provide a comfortable walkable urban streetscape. The unanimous solution was to separate the buildings from the street; allowing street traffic to flow unhindered and provide a simulated streetscape with on-street style parking along the storefronts. A +/- 15 to 20-foot wide, treed sidewalk is proposed allowing activities commonly found along urban streetscapes (such as sidewalk cafés) while still allowing pedestrian movements along and through streetscape elements. The KXLY development team refers to this concept as “Airport Parking” as it is similar to metered short-term parking found at airport drop-off and pick-up locations. After the initial collaborative meetings with the Neighborhood, it was presented to multiple City departments and met with a surprising show of support for the concept.

The applicant requests that the DRB recommend to the Director a design deviation allowing the “Airport Parking” concept along Regal Street.



Artist's Concept



Artist's Concept

Design Deviation 2: Fencing and Screening

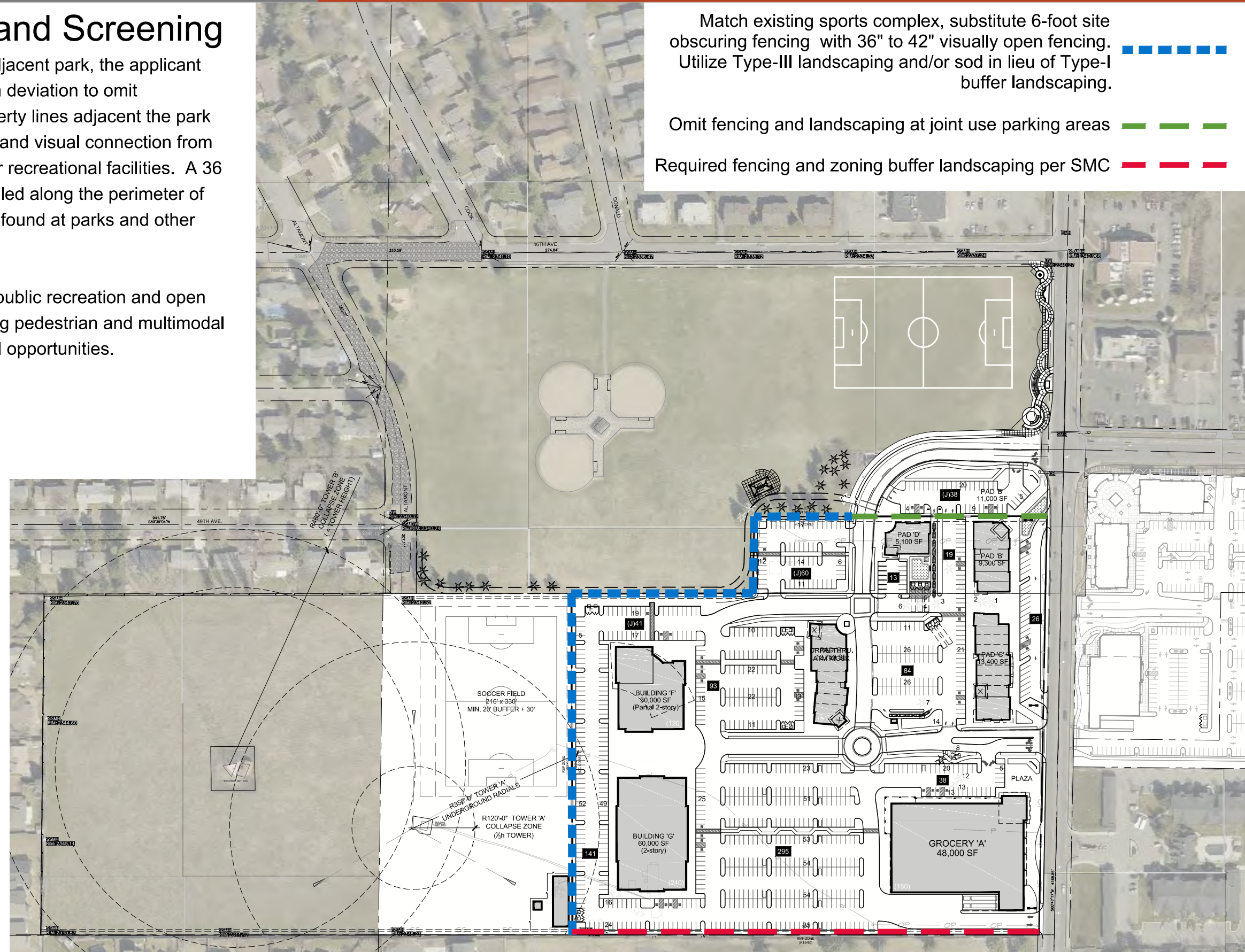
Due to the close interaction of the development with the adjacent park, the applicant requests that the DRB recommend to the Director a design deviation to omit sight-obscuring fencing and buffer landscaping along property lines adjacent the park and park facilities. This design deviation will allow access and visual connection from parking areas designated for the park to the park and other recreational facilities. A 36 to 42-inch high visually open fence is proposed to be installed along the perimeter of park property and facilities with off-set style gates typically found at parks and other sports fields.

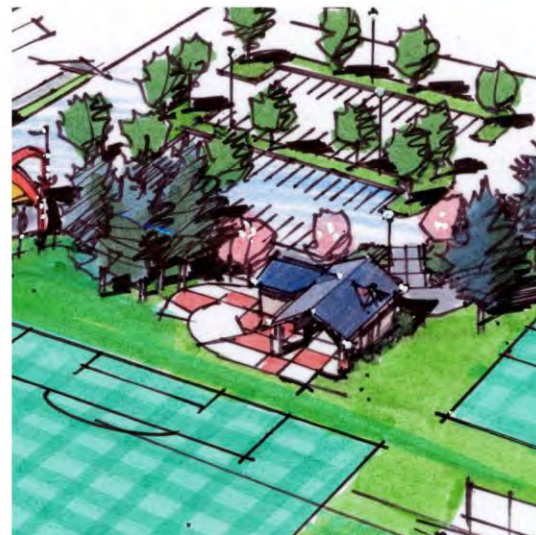
The deviation will encourage the free interaction between public recreation and open spaces and the greater Southgate District Center promoting pedestrian and multimodal movements and visually connectivity with area recreational opportunities.

Match existing sports complex, substitute 6-foot site obscuring fencing with 36" to 42" visually open fencing. Utilize Type-III landscaping and/or sod in lieu of Type-I buffer landscaping.

Omit fencing and landscaping at joint use parking areas

Required fencing and zoning buffer landscaping per SMC





Development Agreement


The ISP sets forth six guiding design principles to achieve a vibrant unified district center. The design principles are enumerated in DA Sections 5.1 through DA 5.6 as follows:


- DA 5.1: Pedestrian Connections
- DA 5.2: Trees Preservation
- DA 5.3: Design Theme
- DA 5.4: Community Plaza
- DA 5.5: Viewscapes
- DA 5.6: Long-Term Development of Urban District


The ISP offers guidance as the intent of the guiding design principles. The following pages demonstrate the Proposal's compliance with the DA and ISP guidelines.

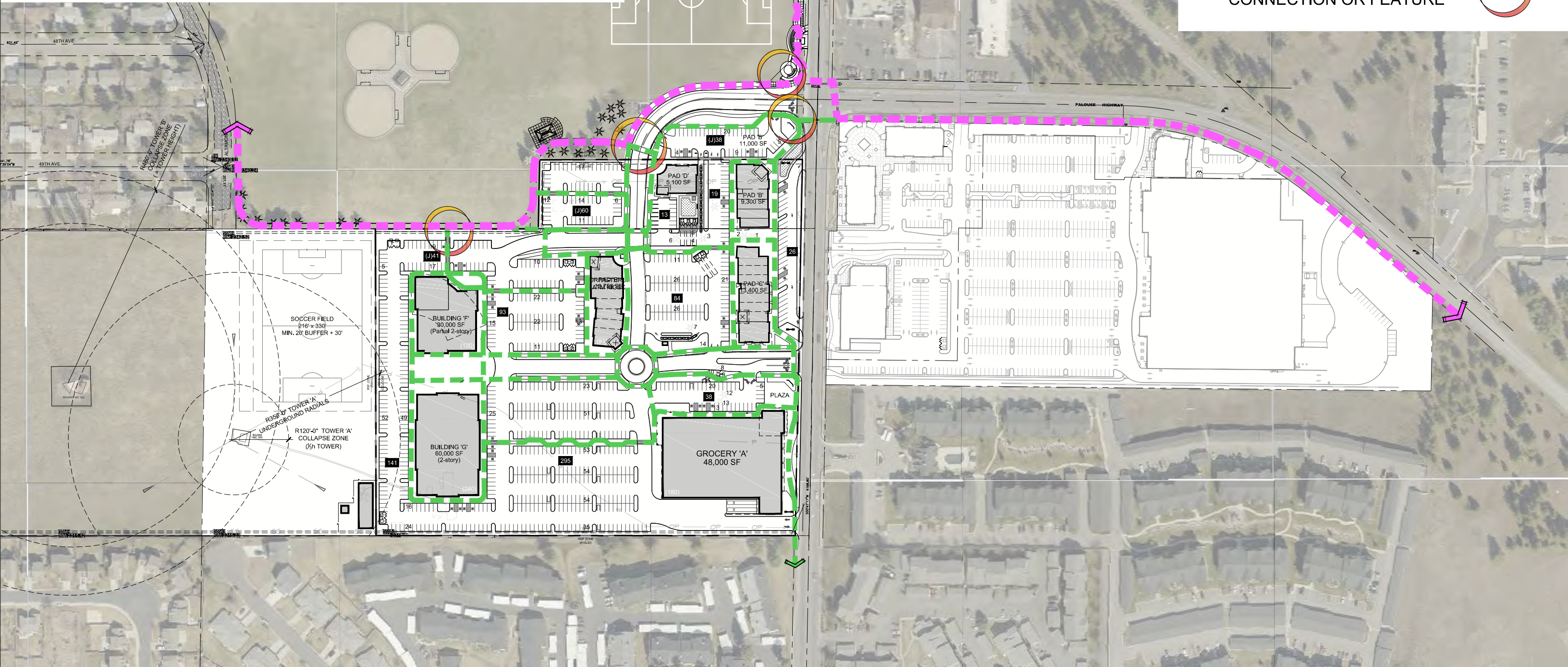
DA Criterion 5.1: Pedestrian Connections

"The Property shall contain dedicated pedestrian and bicycle connections ("path") which are designed to allow pedestrians and bicycles to access and move around and through the Integrated Properties with connection to the surrounding neighborhood. When feasible, such path shall connect to existing publicly accessible trails, sidewalks or other pathways that are adjacent and contiguous to the Integrated Properties."

PEDESTRIAN CONNECTION TO PARK, BETWEEN BUILDINGS AND WITHIN PROJECT 

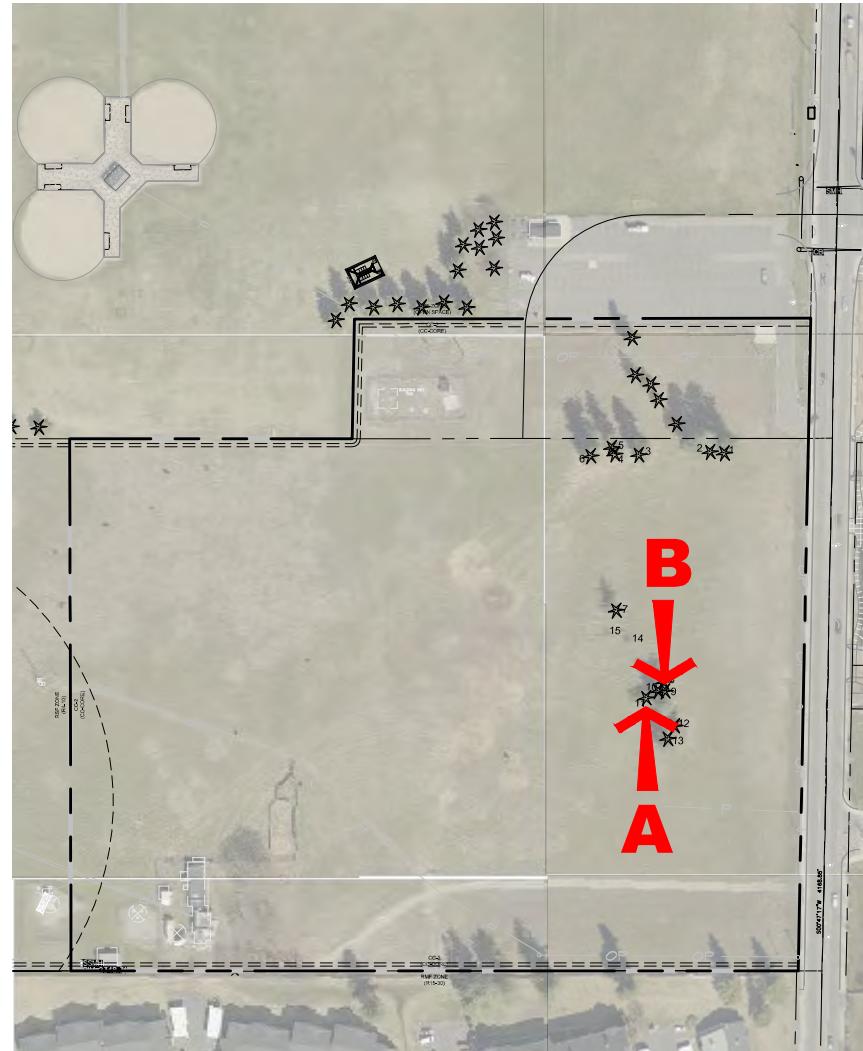
CONTINUATION OF MULTIMODAL PATHWAY 

INDICATES MAJOR PATHWAY CONNECTION OR FEATURE 

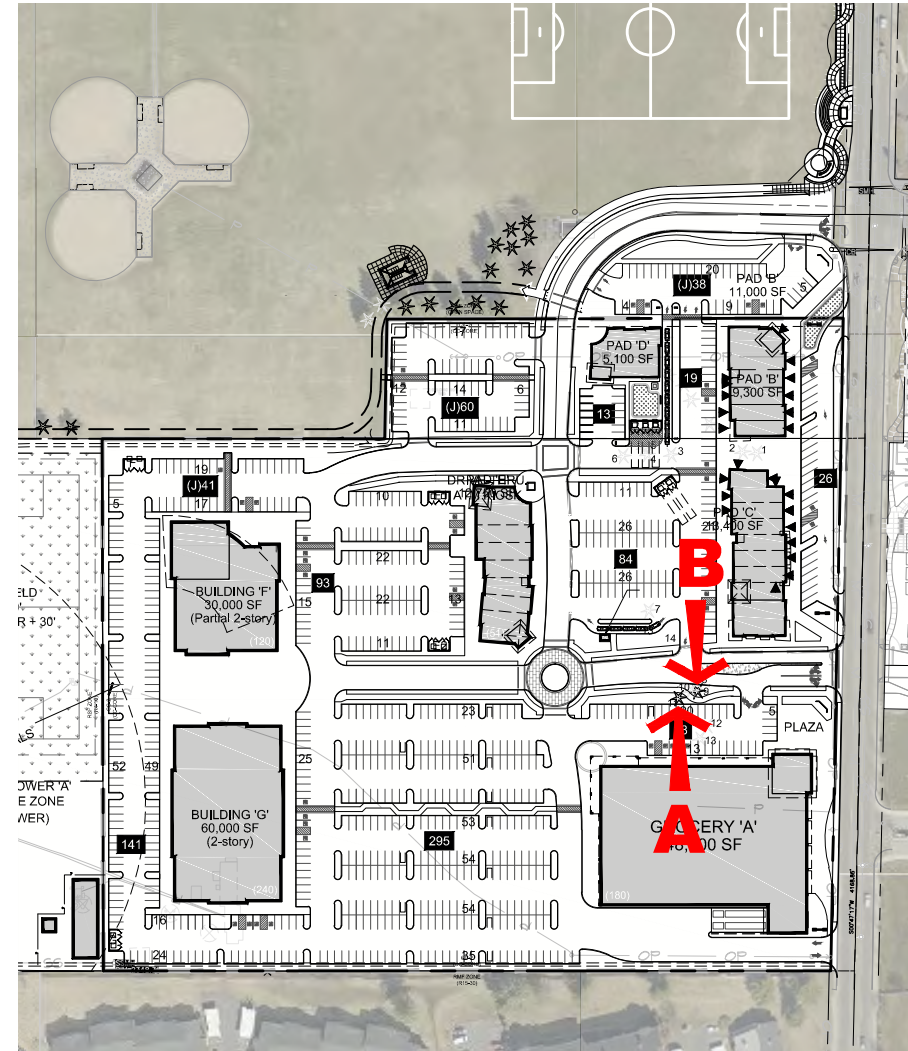


DA Criterion 5.2: Tree Preservation

"Any plan for development of the Property shall provide for the preservation of trees, by leaving in place, a minimum of 10% of all Ponderosa Pine trees."



Existing Tree Plan
18 ON-SITE PONDEROSA PINES



Preserved Tree Plan
2 PRESERVED = 11% OF EXISTING



DA Criterion 5.3: Design Theme

“The Integrated Properties shall be developed with a consistent design theme utilizing, for example, similar or complementary construction materials, architectural characteristics, streetscapes, open spaces, fixtures, and landscaping. All buildings shall provide architectural treatment of interest on those facades visible from the street, such as color, texture, glazing, material differentiation or any other mechanism designed to lessen the impact of building mass when viewed from the street.”

RETAIL-A

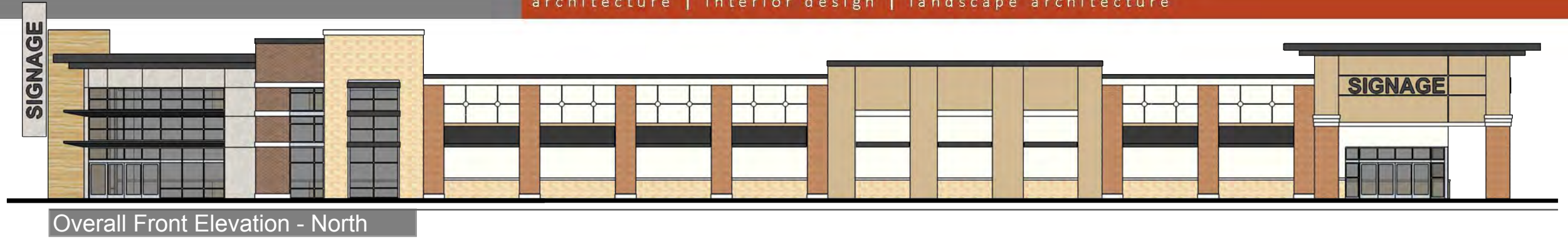
ANCHOR GROCERY



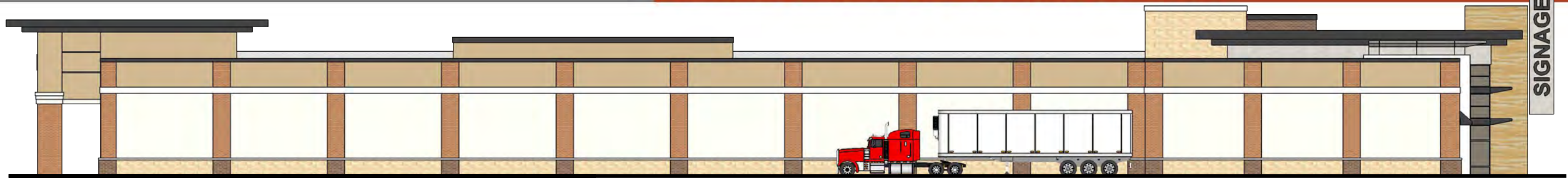
Regal Street - Perspective View



Regal Street - Perspective View - NEC



SIGNAGE



Overall Elevation - South

T.O. Wall
22'-8"

B.O. Soffit
14'-0"

Finish Floor
0'-0"



Partial Elevation - South SCALE: 1" = 10'-0"

T.O. Wall
22'-8"

Finish Floor
0'-0"



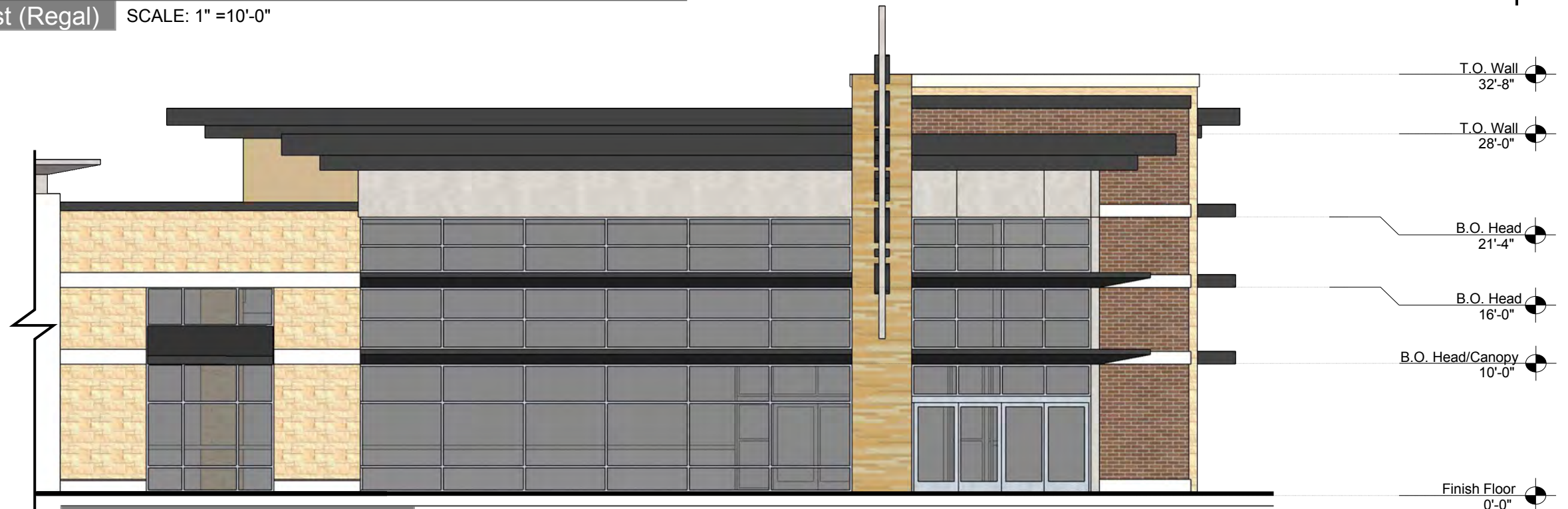
Partial Elevation - South SCALE: 1" = 10'-0"



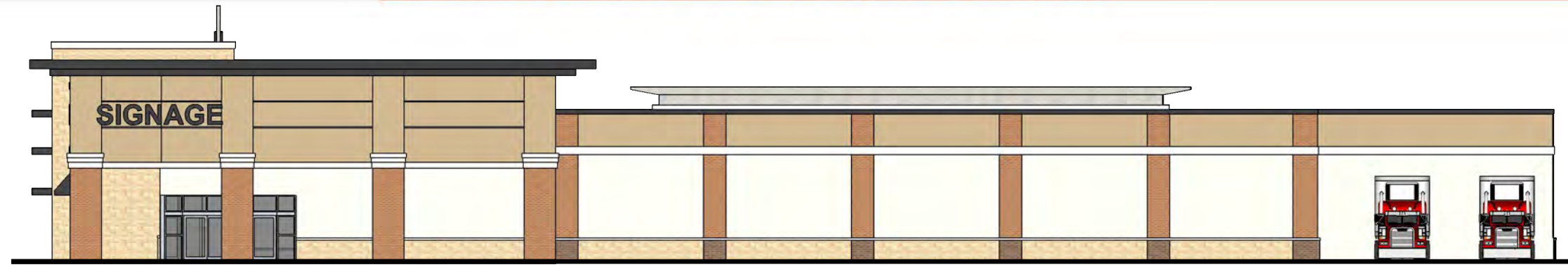
Overall Elevation



Partial Elevation - East (Regal) SCALE: 1" = 10'-0"



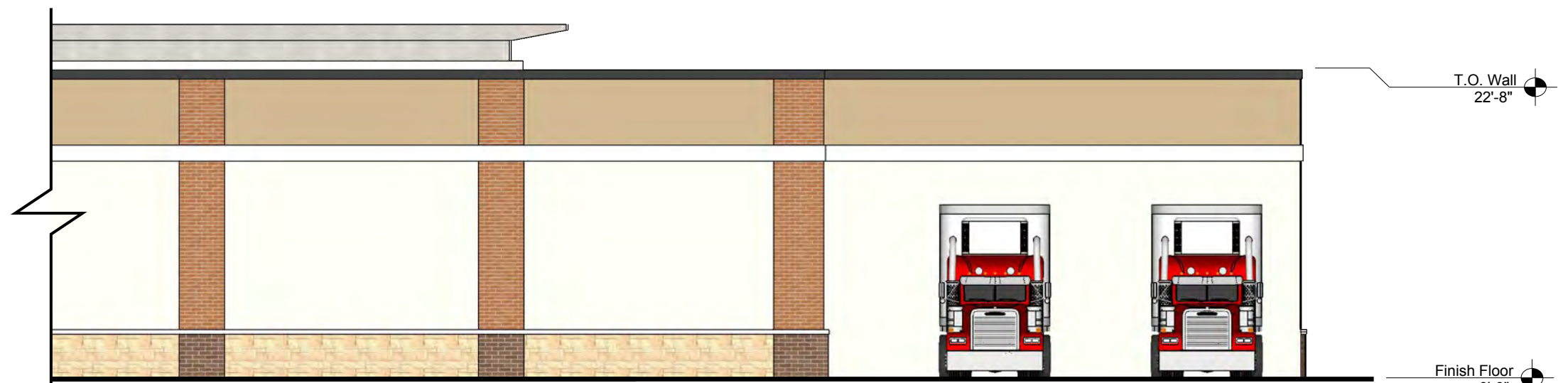
Partial Elevation - East (Regal) SCALE: 1" = 10'-0"



Overall Elevation - West



Elevation - West SCALE: 1" = 10'-0"



Retail-A Character Elevation - 1 SCALE: 1" = 10'-0"

RETAIL-B

SMALL / MEDIUM RETAIL



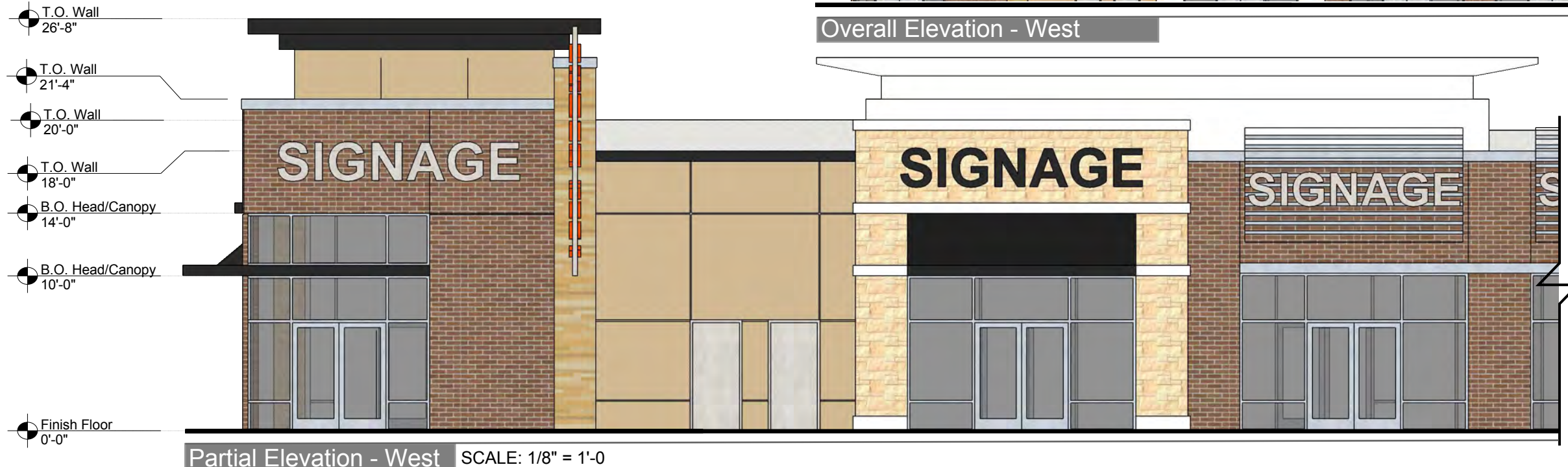
Concept Massing - NWC

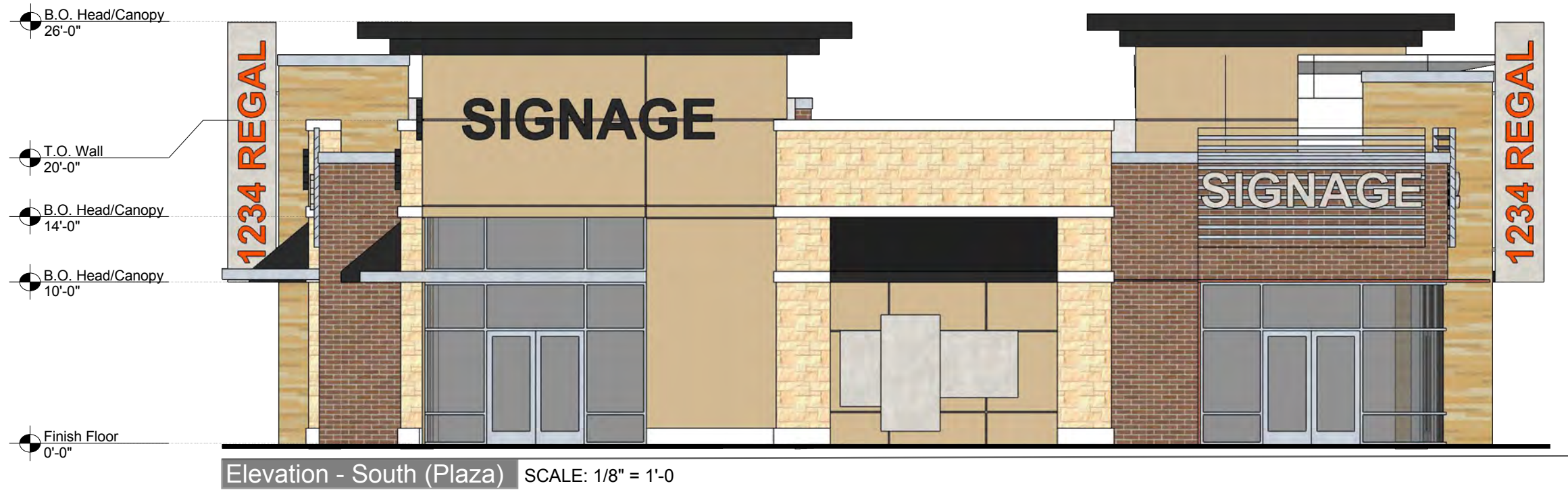


Concept Massing - SEC



Concept Massing - NEC







Partial Elevation - East SCALE: 1/8" = 1'-0



Partial Elevation - East SCALE: 1/8" = 1'-0

RETAIL-C

SMALL / MEDIUM RETAIL



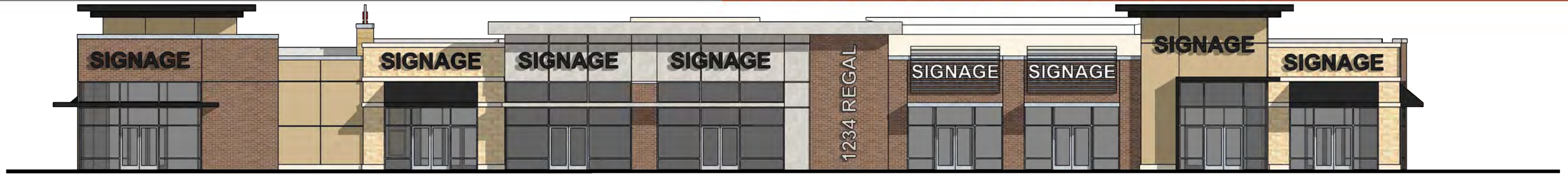
Detail - West



NEC (Regal) - Perspective View



Detail - NWC



Overall Front Elevation - East (Regal)



Partial Elevation - East SCALE: 1/8" = 1'-0"



Partial Elevation - East SCALE: 1/8" = 1'-0"



Overall Elevation - West

- T.O. Wall 24'-0"
- T.O. Wall 21'-4"
- T.O. Wall 20'-8"
- T.O. Wall 18'-0"
- B.O. Head/Canopy 14'-0"
- B.O. Head/Canopy 10'-0"



Partial Elevation - West SCALE: 1/8" = 1'-0



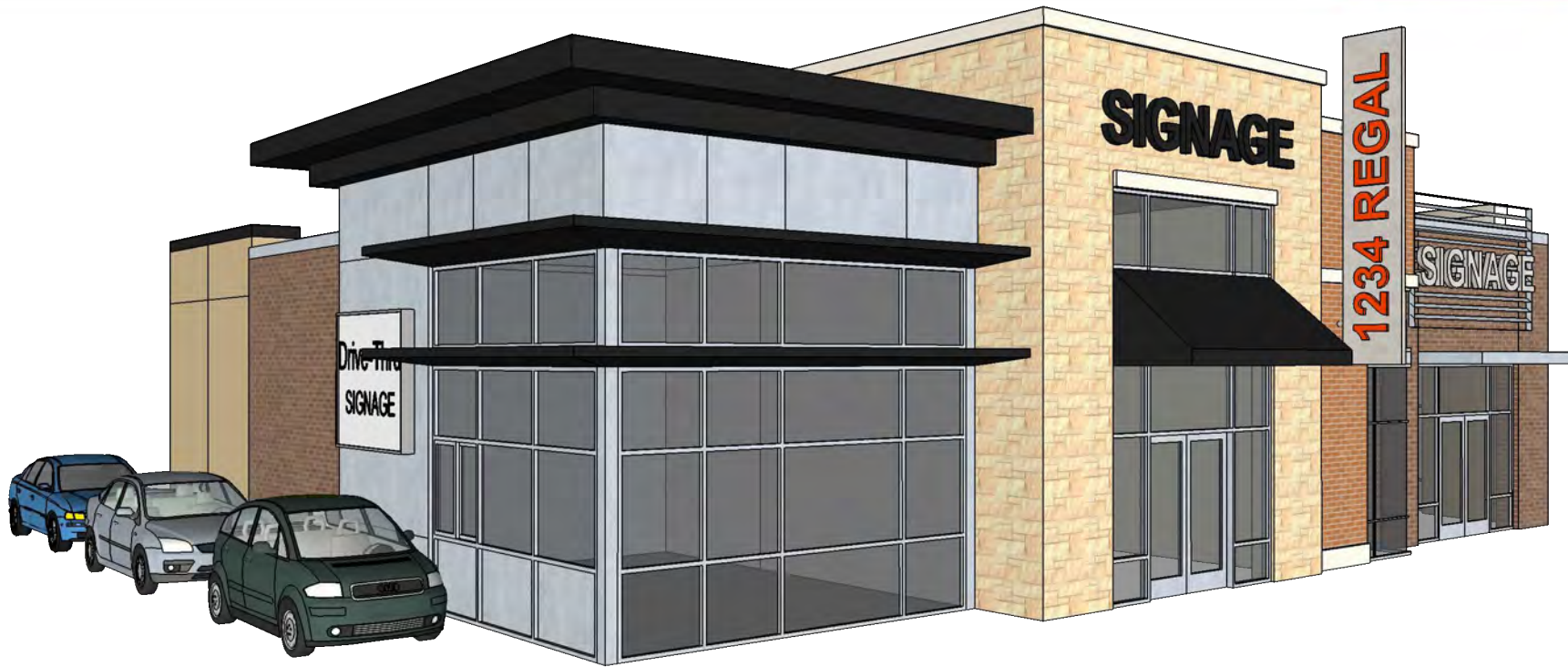
- T.O. Wall 26'-0"
- T.O. Wall 23'-4"
- T.O. Wall 20'-0"
- T.O. Wall 19'-4"
- B.O. Head/Canopy 14'-0"
- B.O. Head/Canopy 10'-0"
- Finish Floor 0'-0"

Partial Elevation - West SCALE: 1/8" = 1'-0



RETAIL-D

SMALL / MEDIUM RETAIL



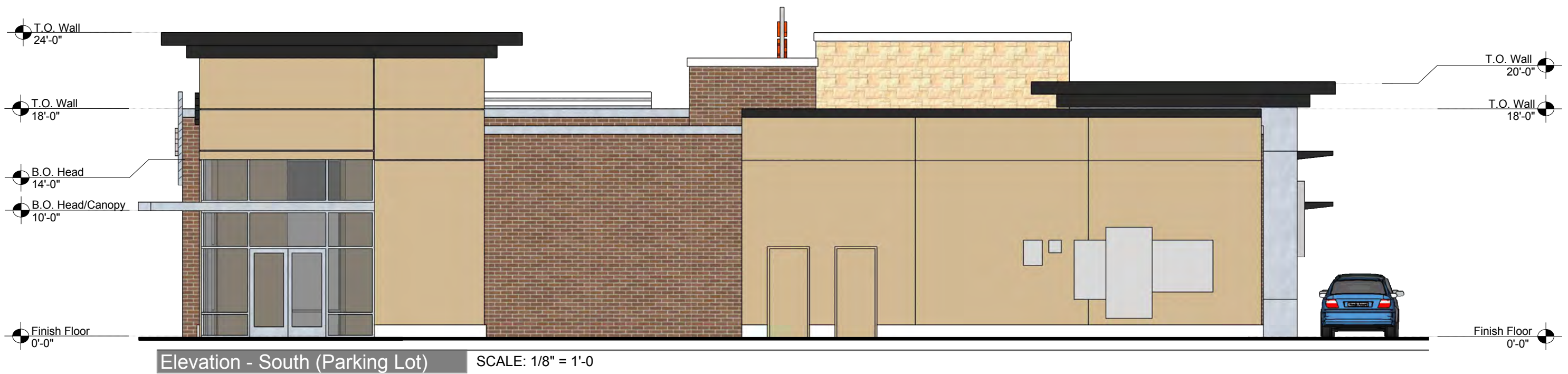
NEC - Perspective View



NWC - Perspective View



NWC - Perspective View

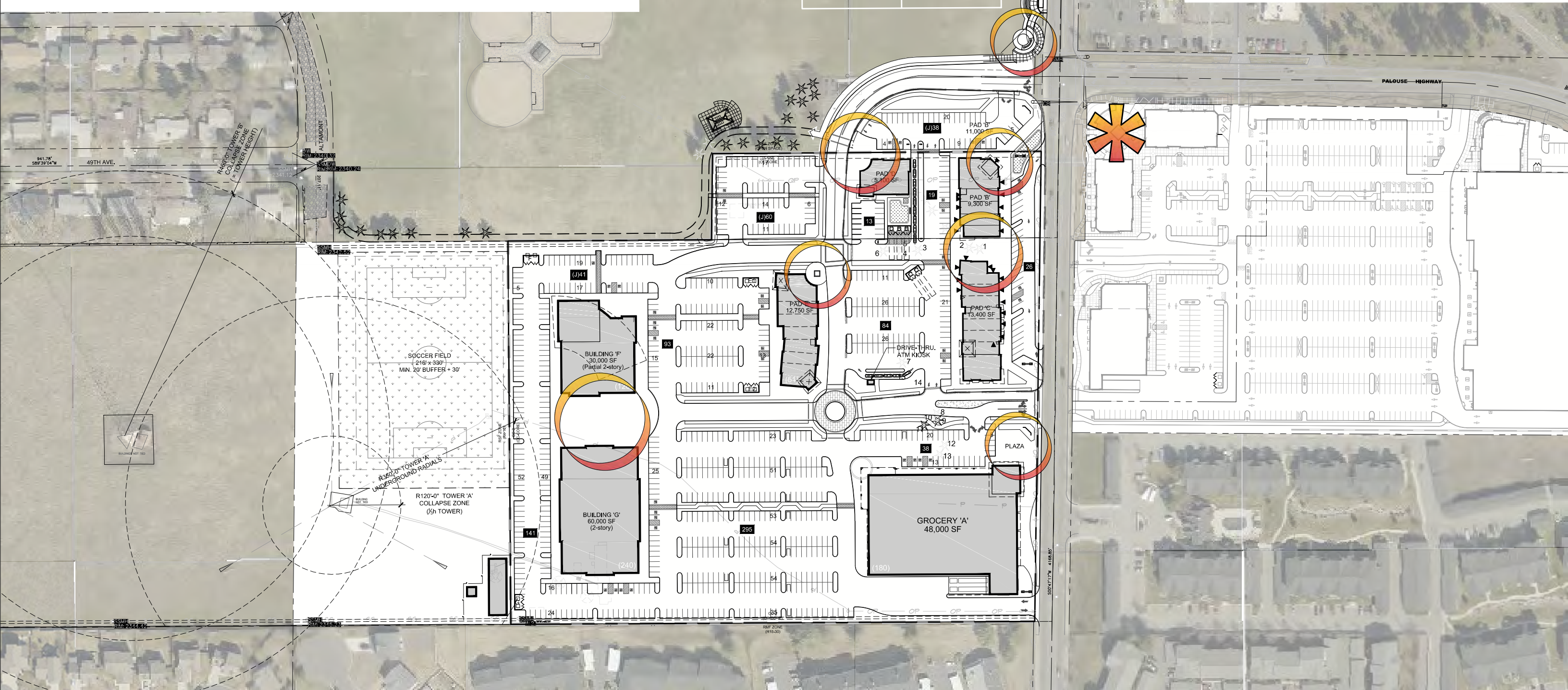




DA Criterion 5.4: Community Plaza

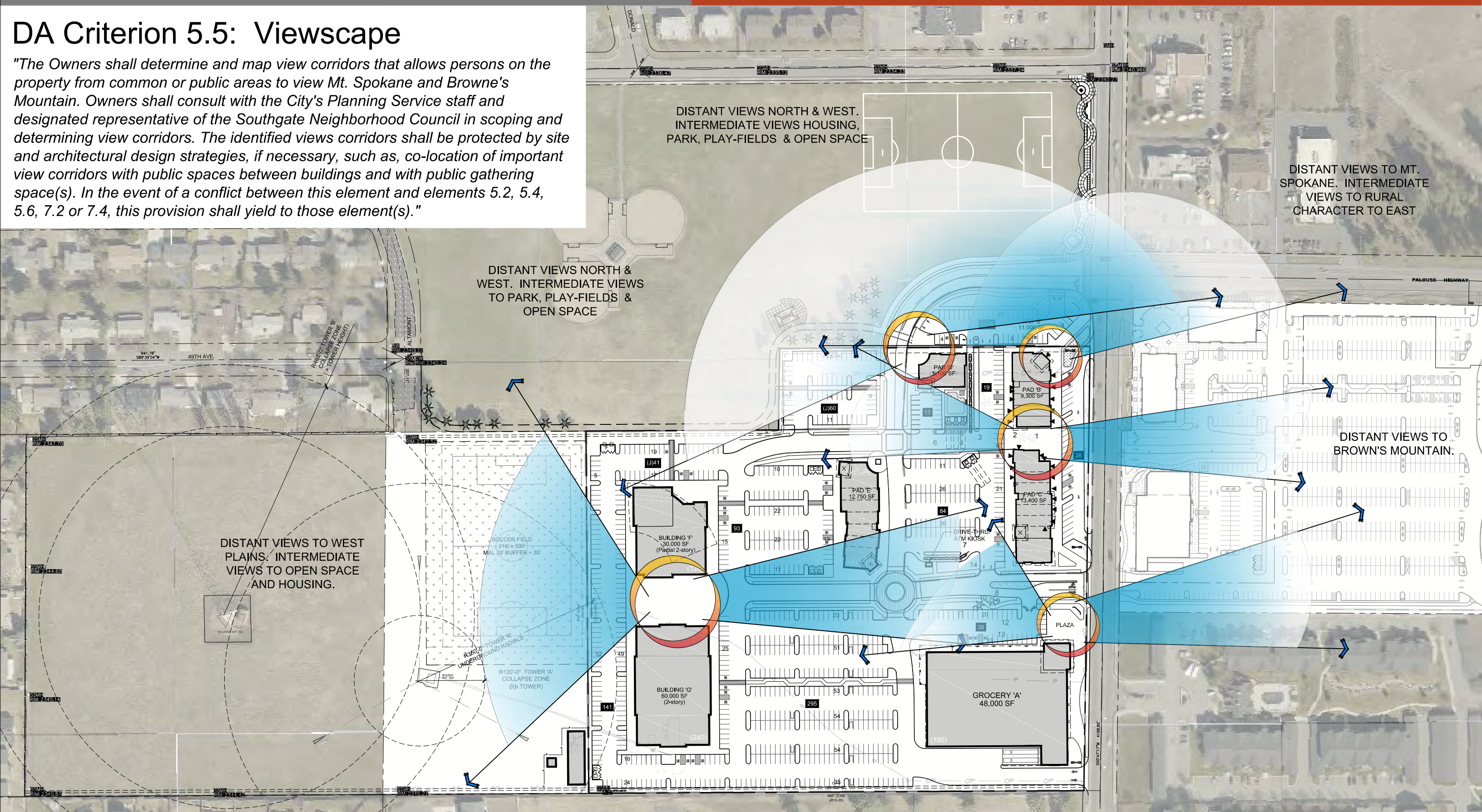
"A community plaza shall be designated that serves as a central gathering place on one of the Integrated Properties and, if not located on the Property, Owners shall provide satisfactory evidence of the Owners' contractual and financial commitment to participate in the development of the community plaza."

EXISTING DESIGNATED DISTRICT COMMUNITY PLAZA *
SECONDARY PLAZA OR PUBLIC SPACE OPPORTUNITIES ○



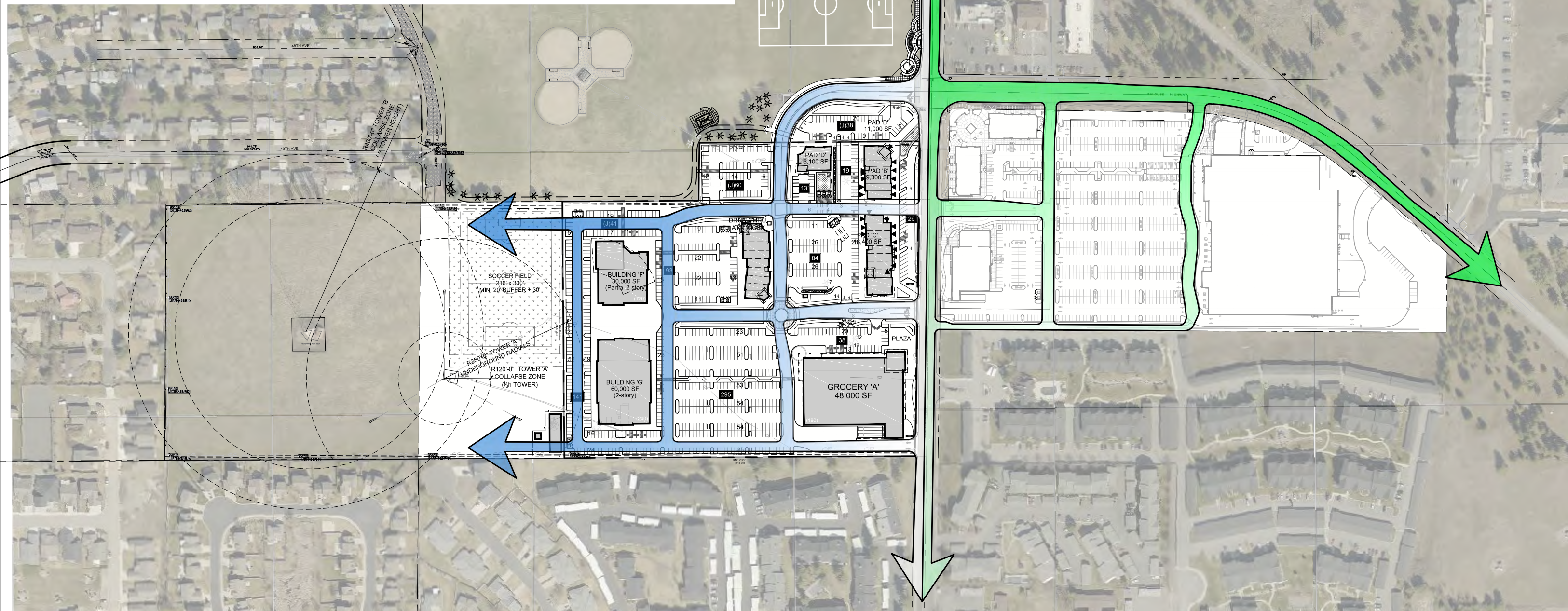
DA Criterion 5.5: Viewscape

"The Owners shall determine and map view corridors that allows persons on the property from common or public areas to view Mt. Spokane and Browne's Mountain. Owners shall consult with the City's Planning Service staff and designated representative of the Southgate Neighborhood Council in scoping and determining view corridors. The identified views corridors shall be protected by site and architectural design strategies, if necessary, such as, co-location of important view corridors with public spaces between buildings and with public gathering space(s). In the event of a conflict between this element and elements 5.2, 5.4, 5.6, 7.2 or 7.4, this provision shall yield to those element(s)."

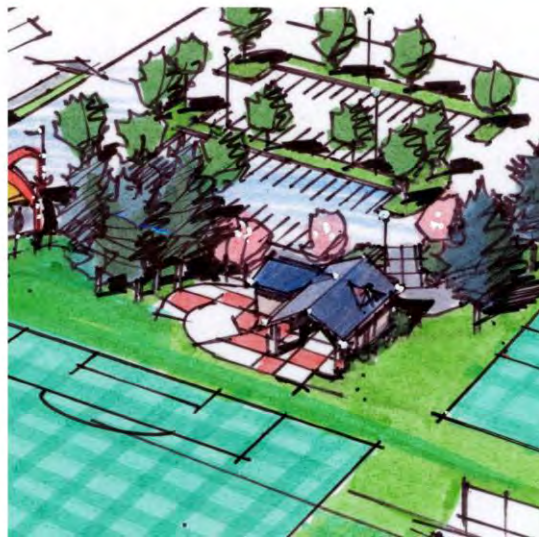


DA Criterion 5.6: Long-Term Urban Development

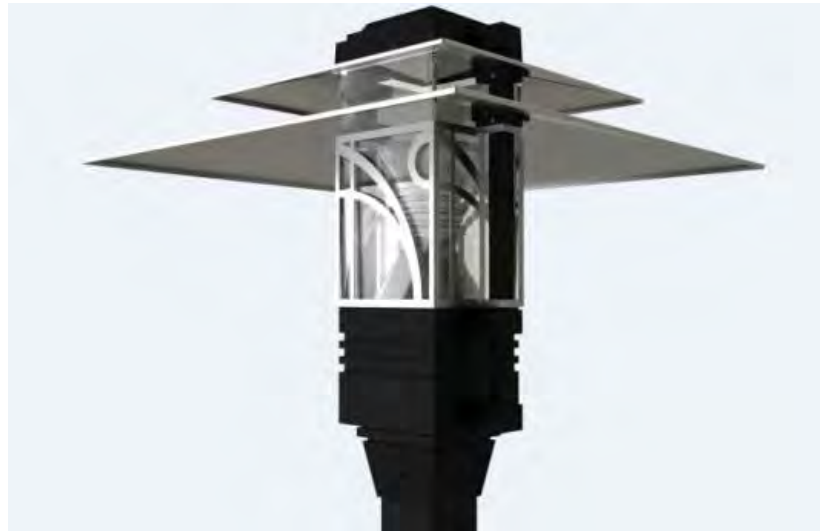
"The intent of the parties is to design and develop urban features that will facilitate integration of the Property (and surrounding area) into an urban district with a unified character that promotes pedestrian and vehicular circulation, without conflict, encourages opportunities for mixed use development and enhances the natural and built aesthetics in the area. In order to enhance connectivity and facilitate future urban development, driveways though the property shall be designed where ever possible, to facilitate connections to the propeties identified in Recital D, above. Curbing shall be used to define the parking lot area, such as perimeter curbing and main drive aisles. Driveway entrance(s) and interior landscaping features will also be curbed."



Kit of Parts



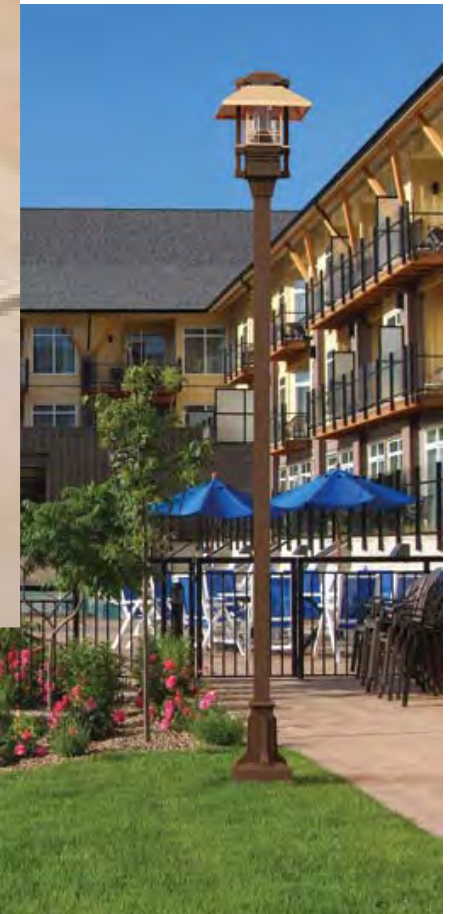
Part C/Solution: Kit of Parts -Themed



Site furnishings with natural, whimsical character representative of grassland and Palouse.



Craftsman style lighting provides historical significance and reflects the South Hill architectural character.



Kit of Parts—Themed Furnishings
Southgate Integrated Site Plan



Powdercoat Color/Finishes

TallGrass Pattern Seating



Products

Product Name
TallGrass Pattern Seating - Bronze Color

Manufacturer

SiteScapes Inc. or equal
P.O. Box 22326
Lincoln, NE 68542
Phone: 888.331.9464
Fax: 402.421.9479
www.sitescapesonline.com
info@sitescapesonline.com

Materials

Frame - 1 1/2" Sq. x 11 Ga. Wall Steel Tubing
Panels - 7 Ga. Steel Sheet Metal

Foot Plates: Foot plates are 5/16" x 1 1/2" stainless steel. Each plate has a 9/16" hole for mounting.

Grass Pattern Receptacles



Products

Product Name
TallGrass Grass Pattern Receptacles - Bronze Color

Manufacturer

SiteScapes Inc. or equal
P.O. Box 22326
Lincoln, NE 68542
Phone: 888.331.9464
Fax: 402.421.9479
www.sitescapesonline.com
info@sitescapesonline.com

Materials

Frame : 7 Gauge Steel Shell/Stainless Steel
Lid: Removable Dome lid

Foot Plates: Foot plates are 5/16" x 1 1/2" stainless steel. Each plate has a 9/16" hole for mounting.

Ash Inlay: 13ga. Stainless steel ash pan

Liner: High Density Polyethylene liner with handles



**TallGrass
TallGrass Pattern Seating**

TallGrass Seating

A variation of the JordanCreek, the TallGrass Collection utilizes a rigid square tubing framework while presenting an elegant silhouette accent. The TallGrass products accentuate their natural surroundings while blending into a variety of urban settings.

Seating Mounting

Options include stainless steel mounting plates for permanent mounting to a concrete pad or heavy duty stainless steel leveling feet suitable for indoor or outdoor use.

Materials

Frame - 1 1/2" Sq. x 11 Ga. Wall Steel Tubing
Panels - 7 Ga. Steel Sheet Metal
Foot Plates - 1/4" x 1 1/2" Stainless Steel with 9/16" Mounting Holes
Mounted w/ four 1/2" x 4-5" Stainless Steel Anchor Bolts (Customer Supplied)

Sustainability and LEED

TallGrass benches have a recycled material content of 84% of which 73% is post consumer content. This content may vary based on the product design, product material type, and interchangeable piece parts. All styles are 100% recyclable. For more information about SiteScapes sustainable products and policies, please refer to our environmental statement.

Choices

Choose six or eight foot length; backed or backless bench; zero or one center armrest; powdercoat or Duracoat finish; and color.

TallGrass seating options



888.331.9464 402.421.9479 fax
P.O. Box 22326 Lincoln, NE 68542
www.sitescapesonline.com
info@sitescapesonline.com

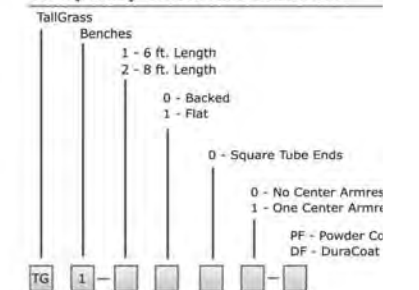
Pictured this page
left: TallGrass backed TallGrass pattern bench TG1-1000 (Sterling). top right TallGrass backed TallGrass pattern bench TG1-1000 (Bronze). bottom right: TallGrass backed TallGrass pattern bench TG1-1000 (Onyx).

Finishes

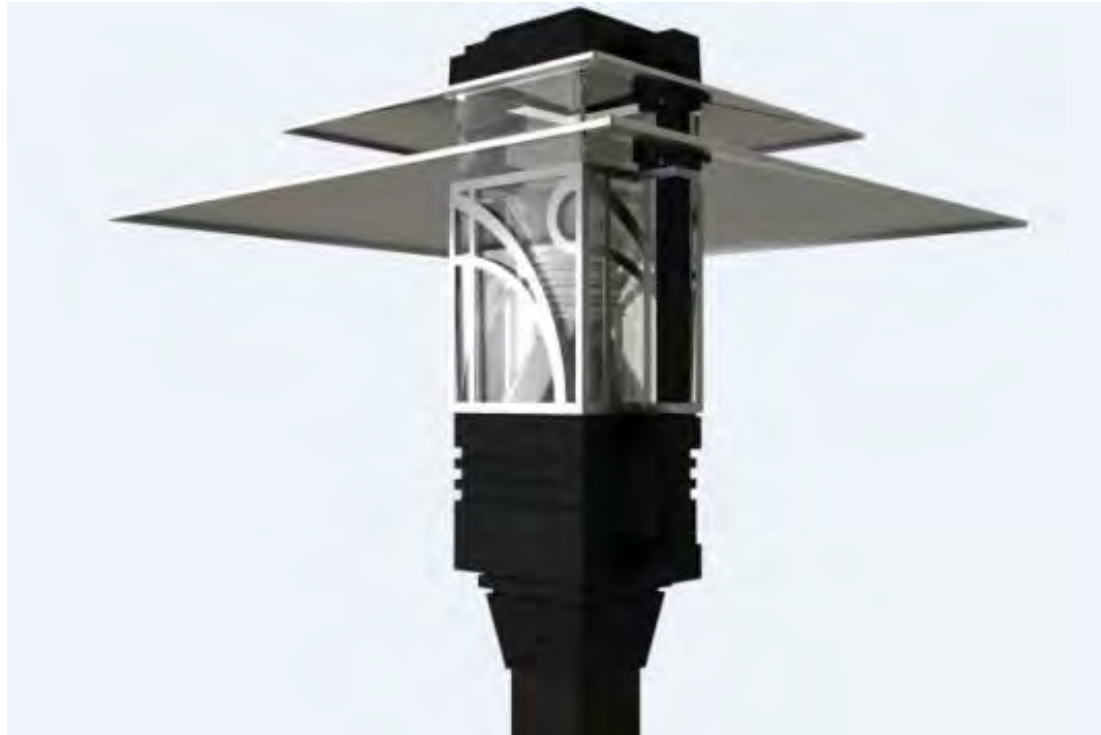
SiteScapes offers product in both standard powdercoat and its own proprietary Duracoat finish. Both finishes are designed to weather elements and are guaranteed not rust, chip, peel, or fade. Call for standard color chart.

www.sitescapesonline.com
For more information visit our website where you can download product drawings, photos, product brochure CSI specs, and other technical data.

To Specify TallGrass Benches



Kit of Parts—Themed Pedestrian Lighting
Southgate Integrated Site Plan



Parkway Square Pedestrian Light

Products

Product Name
Parkway Square PKWM or equal.
Dark Bronze Color
Decorative Screen—DSWH Wheat Hood Finish—STS Stainless Steel

Manufacturer
ARCHITECTURAL AREA LIGHTING
16555 East Gale Ave. | City of Industry | CA 91745
P 626.968.5666 | F 626.369.2695 | www.aal.net

Southgate Integrated Site Plan

Regal Street & Palouse Highway | Revised Final Submittal | May 31, 2013

PKWM

Parkway Square™ Pedestrian (Medium) Scale

FEATURES

- Four optical systems: horizontal, LED, vertical, and indirect
- Three hood styles and six decorative screen options
- Features highly efficient, exclusive MicroEmitter™ technology
- Features exclusive wiHUBB technology
 - Wireless control system for 0-10VDC full range dimming control
 - Programmable autonomous operation
- Custom mounting options
- Cast aluminum struts
- Full cutoff options
- IP65 rated for horizontal configurations, and IP66 rated for vertical configurations
- Powder coat finish in 13 standard colors with a polymer primer sealer

NEW

wiHUBB

DESIGNER SSL

PERIOD

ORDERING INFORMATION

PKWM	MODEL	LAMP/BALLAST	DECORATIVE SCREENS (OPTIONAL)	COLORS
	Slips over 4" open top square pole or 2 3/8" tenon. PKWM Parkway Square Medium Scale	55LED-BW* 42 light emitting diode array. Bright white (5100K). VL3 & VL5 only.	Painted to match fixture. Also available in stainless steel or copper. Not available with horizontal LED optics. DSIN Infinity design DSOF Offset design DSWH Wheat design DSTR Trio design DSSH Shutter design DSCS Custom design (Contact factory)	AWT Arctic White BLK Black MTB Matte Black DGN Dark Green DBZ Dark Bronze WRZ Weathered Bronze BRM Metallic Bronze VBL Verde Blue CRT Corten MAL Matte Aluminum MDG Medium Grey ATG Antique Green LGY Light Grey
	HOODS ANG Angled hood STR Straight hood IND Indirect hood DBL Double hood	60LED-WW MicroEmitter™ 60 light emitting diode array. Warm white (3500K). Class 1, 120 thru 277 volt. Horizontal LED only.	WIH-IM In fixture wireless control module, PS68 pg381. For LED only. ULS Upper lens shield above the hood. Reduces light above hood. TEN 2-3/8" O.D. x 4" long tenon. Required for all AAL poles, except for PS4. TA23 Tenon adaptor slips over a 2-3/8" O.D. x 4" long tenon. Required for poles by others or used in conjunction with the TEN pole option by AAL.	RAL/PREMIUM COLOR Provide a RAL 4 digit color number CUSTOM COLOR Please provide a color chip for matching
	OPTICS Horizontal LED - Available with ANG hood and LEDs only. Flat glass lens. T2 IES Type 1 distribution T3 IES Type 3 distribution T4 IES Type 4 distribution T5 IES Type 5 distribution Vertical LED VL3 Asymmetric distribution VL5 Symmetric distribution Horizontal Optical System Available with ANG hood only. Not available with LEDs. Flat glass lens. H2 IES Type 2 distribution H3 IES Type 3 distribution H4 IES Type 4 distribution H5 IES Type 5 distribution Vertical Optical System - Not available with IND or LEDs. Four sided clear acrylic lens. GLA Frosted glass diffuser GR3 IES Type 3 glass refractor GR5 IES Type 5 glass refractor Indirect Optical System - Available with IND hood only. Not available with LEDs. Four sided clear acrylic lens. Underside of hood is painted in high reflectance white. -3 IES Type 3 distribution -5 IES Type 5 distribution Bare Lamp - Available with IL system only. Lightly diffused four sided acrylic lens. BLO For IL only	60LED-BW MicroEmitter™ 60 light emitting diode array. Bright white (5100K). Class 1, 120 thru 277 volt. Horizontal LED only.	LDL Lightly diffused lens 347 120/240/347 volt ballast for HID only, except 50MH and 50HPS. COP Brushed copper hood STS Stainless steel hood SSP Screen in brushed stainless steel CPR Screen in brushed copper	MOUNTING Wall Mount - Mounting plate included. Hardware by others. PSWM-TU Fixture above with arm mounted up. PSWM-TD Fixture above with arm mounted down. PSWM-BU Fixture below with arm mounted up. Not available with indirect. PSWM-BD Fixture below with arm mounted down. Not available with indirect. Pole Mount - Arm mounts to side of a 4" O.D. pole. PSA-TU Fixture above with arm mounted up. PSA-TD Fixture above with arm mounted down. PSA-BU Fixture below with arm mounted up. Not available with indirect. PSA-BD Fixture below with arm mounted down. Not available with indirect.
		70MH 70 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 70MHT6 70 watt metal halide 120/277/347 volt ballast. Use G12 base, T6 ceramic lamp. 70MHT6EB 70 watt electronic metal halide 120 thru 277 volt ballast. Use G12 base, T6 ceramic lamp. 100MH 100 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 100MHEB 100 watt electronic metal halide 120 thru 277 volt ballast. Use medium base, ED-17 lamp. 150PSMH Pulse start 150 watt metal halide 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 150PSMHT6 Pulse start 150 watt metal halide 120/277 volt ballast. Use G12 base, T6 ceramic lamp. 150MHEB 150 watt electronic metal halide 120 or 277 volt ballast. Use medium base, ED-17 lamp. 150MHT6EB 150 watt electronic metal halide 120 or 277 volt ballast. Use G12 base, T6 ceramic lamp.	OPTIONS WIH-IM In fixture wireless control module, PS68 pg381. For LED only. ULS Upper lens shield above the hood. Reduces light above hood. TEN 2-3/8" O.D. x 4" long tenon. Required for all AAL poles, except for PS4. TA23 Tenon adaptor slips over a 2-3/8" O.D. x 4" long tenon. Required for poles by others or used in conjunction with the TEN pole option by AAL.	Options LDL Lightly diffused lens 347 120/240/347 volt ballast for HID only, except 50MH and 50HPS. COP Brushed copper hood STS Stainless steel hood SSP Screen in brushed stainless steel CPR Screen in brushed copper
		70HPS 70 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 100HPS 100 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp. 150HPS 150 watt high pressure sodium 120/208/240/277 volt ballast. Use medium base, ED-17 lamp.	LDL Lightly diffused lens 347 120/240/347 volt ballast for HID only, except 50MH and 50HPS. COP Brushed copper hood STS Stainless steel hood SSP Screen in brushed stainless steel CPR Screen in brushed copper	
		IL85 85 watt induction lamp system. 120, 208, 240 or 277 volt. -25°C min. start temp. Available in bare lamp configuration (BLO) with LDL lens only. CF** Electronic 120 thru 277 volt ballast. Use GX24q 4 pin base, 26, 32 or 42 watt lamp. -18°C min start temp. Specify wattage. 140CO** 140 watt electronic CosmoPolis™ 120 or 208 thru 277 volt ballast. Use PG212 base, CosmoPolis™ lamp.	LDL Lightly diffused lens 347 120/240/347 volt ballast for HID only, except 50MH and 50HPS. COP Brushed copper hood STS Stainless steel hood SSP Screen in brushed stainless steel CPR Screen in brushed copper	
		All fixtures prewired for 277 volts unless specified. Lamps not included (except IL and LED options). All applicable ballasts are EISA compliant. CosmoPolis™ is a trademark of Philips Lighting®. * Vertical LED (VL3, VL5) is class 2, 120 thru 277 volt. ** Not available with horizontal or LED optics.	DIMENSIONS MEDIUM 29.75" SQ x 30.5" H - Vertical 23" SQ x 30.5" H - Horizontal	

Kit of Parts—Parking Lot Area Lighting
Southgate Integrated Site Plan



American—Metal Halide Area Light


Products

Product Name
American Shoe Box Cube—Bronze
Metal Halide Lamp

Manufacturer

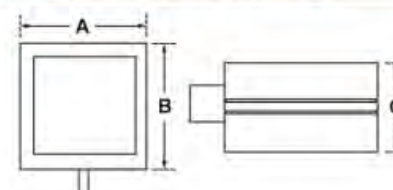
[Visionaire Lighting, LLC](http://www.visionairelighting.com) | Tel. (877) 977-LITE(5483)
19645 Rancho Way, Rancho Dominguez, CA 90220

American HID
Project Name: _____
Catalog Number: _____
Type: _____



ida
UL LISTED

Dimensional Drawings



Fixture	A	B	C	Stripe	Max. Watts	Lbs
AME-1	14"	14"	10"	2"	175 W	35
AME-2	19"	19"	12"	2"	400 W	50
AME-3	23"	23"	13"	2"	1000 W	70
AME-4	23"	23"	15"	2"	1000 W	75

The American series features the most advanced lighting reflector system available today. Vision™ is a patented, revolutionary reflector system unlike any other. The flat lens, vertical lamp, IES full cutoff luminaire is Dark-Sky certified to restrict light trespass, glare and light pollution for neighborhood-friendly outdoor lighting. Convex glass lens is available when required.

The clean, compact housing style features a decorative reveal available in complementary or contrasting colors. Computerized precision machinery and quality materials ensure manufacturing to the highest industry standards.

American is offered in four enclosure sizes and five distribution patterns, including a special forward throw T4A reflector for auto dealership front line lighting. Vision™ Reflector System allows the use of fewer fixtures and poles with wider spacings, providing substantial equipment, installation and energy cost savings.

American is a proven performer for auto dealerships, shopping centers, parking lots and general area lighting. A wide selection of light sources from 100 through 1000 watts are offered in Metal Halide, High Pressure Sodium and Pulse Start Metal Halide lamp which provides excellent efficiency, lumen maintenance and color.

Model	Optics	Wattage	Source	Voltage	Mounting	Finish/Stripe	Options
AME-1 Flat Glass Only	Type II (T2)	100 (100)	PS HPS	120	Bolt-On Arm 6" (BOA6)	Bronze (BZ)	Photocell & Receptacle *Specify voltage (PCR120) (PCR208) (PCR240) (PCR277) (PCR480) Photo Receptacle (PER) *With shoring cap Button Type Photocell *Specify voltage (PC120) (PC208) (PC240) (PC277) Quartz Restrike (QR) Fusing *Specify voltage Single in-line fuse (SF120) (SF277) Double in-line fuse (DF208) (DF240) (DF480) House Side Light Shield (LS) Internal Light Shield *AME-2 & AME-4 only (ILS) Convex Glass Lens *AME-2 only (VLCG) Round Pole Plate Adaptor (RPP) Cast Wall Plate (BWP)
		150 (150)	PS HPS	208			
		175 (175)	PS (P) (S)	(2)			
AME-2 Flat Glass (Convex Glass Optional)	Type III (T3)	200 (200)	PS	240	Bolt-On Arm 10" *Supplied for all AME sizes with 290, 190 & Quad Mounting (BOA10)	Black (BK)	
		250 (250)	PS HPS	(3)			
		320 (320)	PS				
		400 (400)	PS HPS (P) (S)	277			
AME-3 Convex Glass Only	Type IV (T4)	400 (400)	PS HPS	480	Spider Mount *fits 2 1/2" O.D. (SM)	Forest Green (FG)	
		750 (750)	PS HPS	(5)			
		1000 (1000)	MH PS HPS (M) (P) (S)	M-Tap *Multi-Tap ballast wired at 277 V unless specified (6)			
AME-4 Flat Glass Only	Type IV-A *Not available for AME-1 & 2 (T4A)	575 (575)	PS HPS	347	Wall Mount *Cast Wall Plate (BWP) to be ordered separately. Standard length for WM bolt-on arm is 5" (WM)	Grey (GY)	
		750 (750)	PS HPS	(8)			
		775 (775)	PS HPS				
	Type V (T5)	1000 (1000)	MH PS HPS (M) (P) (S)		Round Pole Plate Adaptors (RPP) are to be ordered separately.	Silver Metallic (SL)	Stripe Color Blue Metallic (94) Red Opaque (188) Silver Metallic (58) Gold Metallic (41) White Opaque (50) Black Metallic (60) Charcoal Metallic (20)

MH - Metal Halide
PS - Pulse Start Metal Halide
HPS - High Pressure Sodium

AME-1 uses 4" tall arm.
Round Pole Plate Adaptors (RPP) are to be ordered separately.

For more detailed information on mounting, wiring or installation instructions, please consult locally. If poles are not ordered with fixtures, please specify mounting requirements. This document contains proprietary information of Visionaire Lighting, LLC. Any use of this information requires the written approval of Visionaire Lighting, LLC. In keeping with our TCM policy of continuous improvement, Visionaire reserves the right to change any specifications contained herein without prior notice.

VISIONAIRE LIGHTING
Performance In A Whole New Light™

Bike Garden Bike Rack

Products

Product Name

Bike Garden - Dark Bronze
 Surface Mount

Manufacturer

FORMS+SURFACES 800.451.0410 <http://www.forms-surfaces.com/> or equal



BIKE GARDEN™ BIKE RACK



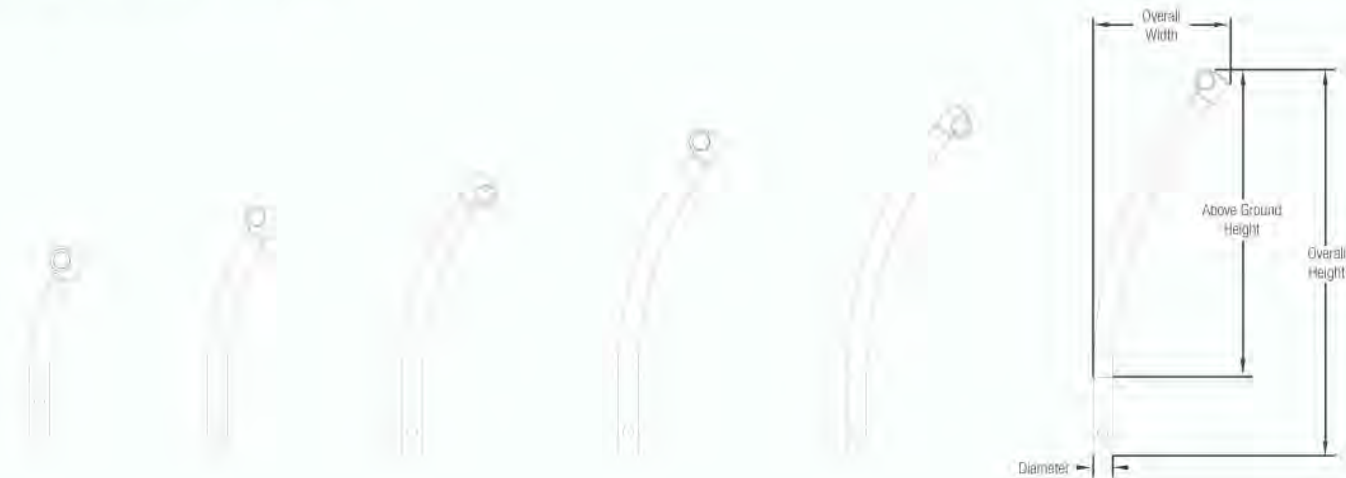
PRODUCT DATA

Inspired by organic forms, the **Bike Garden** provides a truly unique solution to the increasing challenges of bike parking and security. Its "stems" can be arranged in a wide variety of configurations to creatively accommodate almost any setting and provide riders with the added assurance of multiple locking points to secure the frame and wheels. Constructed entirely of rugged, corrosion-resistant stainless steel, Bike Garden's stems can be surface mounted or cast-in-place and may be purchased individually for maximum arrangement flexibility or in pre-configured layouts.

MATERIALS & FINISHES

MATERIALS & FINISHES		INSTALLATION & MAINTENANCE	
MATERIALS	FINISH	INSTALLATION	MAINTENANCE
<ul style="list-style-type: none"> Constructed entirely of corrosion-resistant stainless steel. Head and optional surface mount foot are cast stainless steel; body is stainless steel tubing. 	<ul style="list-style-type: none"> Available in stainless steel with a radial Satin finish or powdercoated. Standard powdercoat colors are Aluminum Texture and Slate Texture; optional colors from the F+S color chart and custom RAL colors are available for an upcharge. Due to the inherent nature of metal castings, gloss powdercoats are not offered for cast components. 	<ul style="list-style-type: none"> Bike Garden can be cast-in-place or surface mounted. Anchors and stainless steel screws are included for surface mount. 	<ul style="list-style-type: none"> Metal surfaces can be cleaned as needed using a soft cloth or brush with warm water and a mild detergent. Avoid abrasive cleaners.

NOMINAL DIMENSIONS (Cast-in-place)



MODEL	ABOVE GROUND HEIGHT	OVERALL HEIGHT	OVERALL WIDTH	DIAMETER	WEIGHT
SKGAR-162-CIP	16.2" (411 mm)	26.2" (665 mm)	7.1" (180 mm)	2.5" (63.5 mm)	8.6 lbs (3.9 kg)
SKGAR-208-CIP	20.8" (528 mm)	30.8" (782 mm)	9.2" (234 mm)	2.5" (63.5 mm)	9.8 lbs (4.4 kg)
SKGAR-254-CIP	25.3" (643 mm)	35.3" (897 mm)	11.8" (300 mm)	2.5" (63.5 mm)	11.3 lbs (5.1 kg)
SKGAR-300-CIP	29.9" (759 mm)	39.9" (1,013 mm)	13.3" (338 mm)	2.5" (63.5 mm)	12.7 lbs (5.8 kg)
SKGAR-344-CIP	34.4" (874 mm)	44.4" (1,128 mm)	15.8" (401 mm)	2.5" (63.5 mm)	14.1 lbs (6.4 kg)
SKGAR-391-CIP	39.1" (993 mm)	49.1" (1,247 mm)	17.3" (439 mm)	2.5" (63.5 mm)	15.4 lbs (7.0 kg)

Kit of Parts—Hardscape Treatment—Paver Accents
Southgate Integrated Site Plan



**Pacific Slate Finish-
Classic Standard Series
Products**

Standard
Length: 8-7/8" (225mm)
Width: 4-7/16" (112.5mm)
Area: 3.7 stones /ft²
40 stones /m²
Thickness: 2-3/8" (60mm)



Double Standard
Length: 8-7/8" (225mm)
Width: 8-7/8" (225mm)
Area: 1.8 stones /ft²
20 stones /m²
Thickness: 2-3/8" (60mm)



Half Standard
Length: 4-7/16" (112.5mm)
Width: 4-7/16" (112.5mm)
Area: 7.3 stones /ft²
80 stones /m² Thickness:



**Concrete Pavers
Products**

Product Name
Pacific Slate
Color : Red, Desert Sand and Sand/Brown Blend or other as appropriate

Compressive strength: 8000 PSI (55 MPA)
Absorption: shall not exceed 5%
Weight: 1- 5/8" (40mm): approx. 20lbs/ft² (98kg/m²)
2" (50mm): approx. 25lbs/ft² (122kg/m²)
2- 3/8" (60mm): approx. 28lbs/ft² (140kg/m²)
3- 1/8" (80mm): approx. 37lbs/ft² (188kg/m²)

Manufacturer
ABBOTSFORD CONCRETE PRODUCTS or equal
Pavers are manufactured to ASTM C 936-09 and CSA A231.2-06 specifications,



Kit of Parts—Hardscape Treatment—Colored Concrete Accents
Southgate Integrated Site Plan

**Colored Concrete - Textured/
Stamped
Products**

Product Name

Integral Color Concrete

Color : Scofield Colored Products, Roman Clay, Pueblo Brown and Schooner Beige or other as appropriate

CHROMIX® L Admixtures for Color-Conditioned® Concrete

CHROMIX L Admixtures for Color-Conditioned® Concrete are formulated for use with the CHROMIX®-It Liquid Color Dispensers. High-quality CHROMIX L Admixtures are mixed liquid dispersions developed exclusively for use in concrete and provide consistent, permanent, fade-resistant and streak-free integral color conditioning for all types of concrete projects.

Accent concrete shall be textured by sandblasting or stamped texture where occurring

Integral Color SG Standard Grade:

Manufacturer

L. M. Scofield Company or equal
6533 Bandini Blvd.
Los Angeles, CA 90040
(800) 800-9900



Part C/Solution: Kit of Parts - Landscaping



Sustainable landscaping used to accentuate trail/walk crossings through parking lot.



Use of plant color to create consistency and uniformity.



Below: Example of plaza/seawall used with drought-resistant plantings and natural materials.



Native, drought-resistant plantings used to enhance nodes along multi-modal trail.



Sustainable Landscapes: Combination of native and adaptive shrubs used with ornamental grasses.

Part C/Solution: Kit of Parts - Landscape Tree Plantings



Narrative:

The landscape plantings have been selected to create 'areas of enhancement' that will utilize a variety of color, size and texture in the plant selections. These areas are located at selected site entrances, common areas, landscape buffer strips as well as key areas in the parking lots and along pedestrian routes. Medium to large canopy, native and non-native adapted shade trees will buffer prevailing winds, define special enclosure, provide seasonal interest and summer shade.

A small group of Ponderosa Pines will be preserved at the east edge of the property and additional Ponderosa Pines will be added at the property perimeter where the formal on-site landscaping transitions to more natural and existing off-site vegetation and taller, more intense buffering is appropriate.

Shrub plantings will also consist of native and adapted plant selections with an emphasis on native and ornamental grasses. The tall, native grasses are an important part of theming within the site design and are used to emulate the grassy landscape of the Palouse. Additionally, the landscape design will be closely coordinated with the architectural features and site design to enhance the overall integrated aesthetics. Lawn areas will be seeded or sodded and a mix utilizing native fescue grasses to provide a sustainable drought resistant turf.

The landscape and irrigation design uses the principles of xeriscape with the intent of reducing maintenance and water use. These landscape areas are intended to be mostly self-sustaining, utilizing drip emitter irrigation within the shrub areas with smart control technology and flow meter options to allow the water savings benefit of the equipment to be optimized.

Legend:

1. Autumn Blaze Maple
2. Ponderosa Pine
3. Pyrus "Chanticleer"
4. Japanese Lilac
5. Patmore Green Ash
6. Black Pine
7. Prunus Sargentii
8. Amur Maackie
9. Northern Red Oak
10. Moonglow Juniper

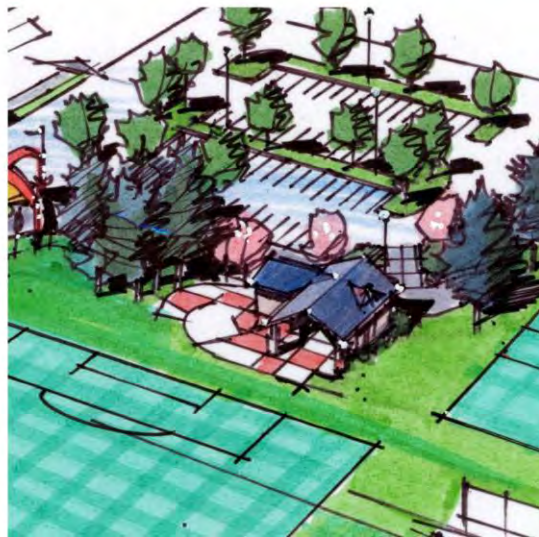
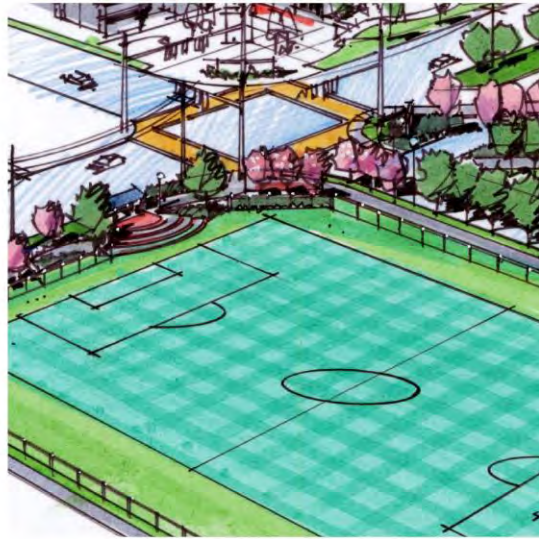
Part C/Solution: Kit of Parts - Landscape Plantings



Legend:

1. Abbotswood Potentilla
2. Northern Lights Azalea
3. Blue Shage Eastern White Pine
4. HamIn Fountain Grass
5. Arctic Fire Red Osier Dogwood
6. Creeping Mahonia and Oat Grass
7. Flame Grass
8. Rose Nutkana
9. Mugo Pine
10. Spiraea Japonica Shirobana
11. Karl Foerster Grass
12. Pioneer Rhododendron

Site Massing





View From Regal & Palouse Looking West



View From Regal St. looking South



View From Target Center Main Driveway Looking West



View From Target Center 2nd Driveway into Proposal's Main Regal St. Access



View From Regal St. Looking NW TO 'AirPort Parking'



View From Proposal Looking East Through Plaza

